

PROPERTY OWNERS WITHIN 200'

The Borough of Sayreville
TAX ASSESSOR'S OFFICE
107 MAIN STREET • SAYREVILLE, NJ 08871
TEL: 732-396-7000 • FAX 732-421-3159

List of property owners within a 200' radius of Block 422 Lot 8.01 (Prestige Plumbing vs Hinesman):

BLOCK	420	2007 Route 35, LLC 1864 Highway 35 South Amboy, NJ 08879
LOT	3	
BLOCK	421	August B. Catherine Berlingieri 507 Orchard Place South Amboy, NJ 08879
LOT	104	
BLOCK	421	Sudo & Mariana DiNapoli 507 Orchard Place South Amboy, NJ 08879
LOT	105	
BLOCK	421	DKJ Equity, LLC and 2070 Route 35, LLC 100 Sandy Point Drive Brick, NJ 08723
LOT	106	
BLOCK	421	DKJ Equity, LLC and 2070 Route 35, LLC 100 Sandy Point Drive Brick, NJ 08723
LOT	2	
BLOCK	422	2034 Route 35, Inc. 54 Ferry Road East Brunswick, NJ 08816
LOT	5	
BLOCK	422	G.C. Dynasch Construction, LLC 45 North Main Street Marlboro, NJ 07746
LOT	802	
BLOCK	422	DKJ Equity, LLC and 2070 Route 35, LLC 100 Sandy Point Drive Brick, NJ 08723
LOT	803, 10 & 11.01	
BLOCK	422	DKJ Equity, LLC and 2070 Route 35, LLC 100 Sandy Point Drive Brick, NJ 08723
LOT	804	

Sayreville, NJ
Source: aerial photo from Google Earth
www.google.com

BLOCK	420	2007 Route 35, LLC 1864 Highway 35 South Amboy, NJ 08879
LOT	1 & 2	

This is to certify that the preceding list of names, addresses and block and lot numbers are, to the best of my knowledge, within a 200' radius of property known as Block 422 Lot 8.01, as identified on the Official Borough of Sayreville Tax Map.

Dated: May 31, 2024

As advised that these records may contain information governed by L. 2011, c. 128 and L. 2024, c. 125, which include civil and criminal penalties for improper disclosure.

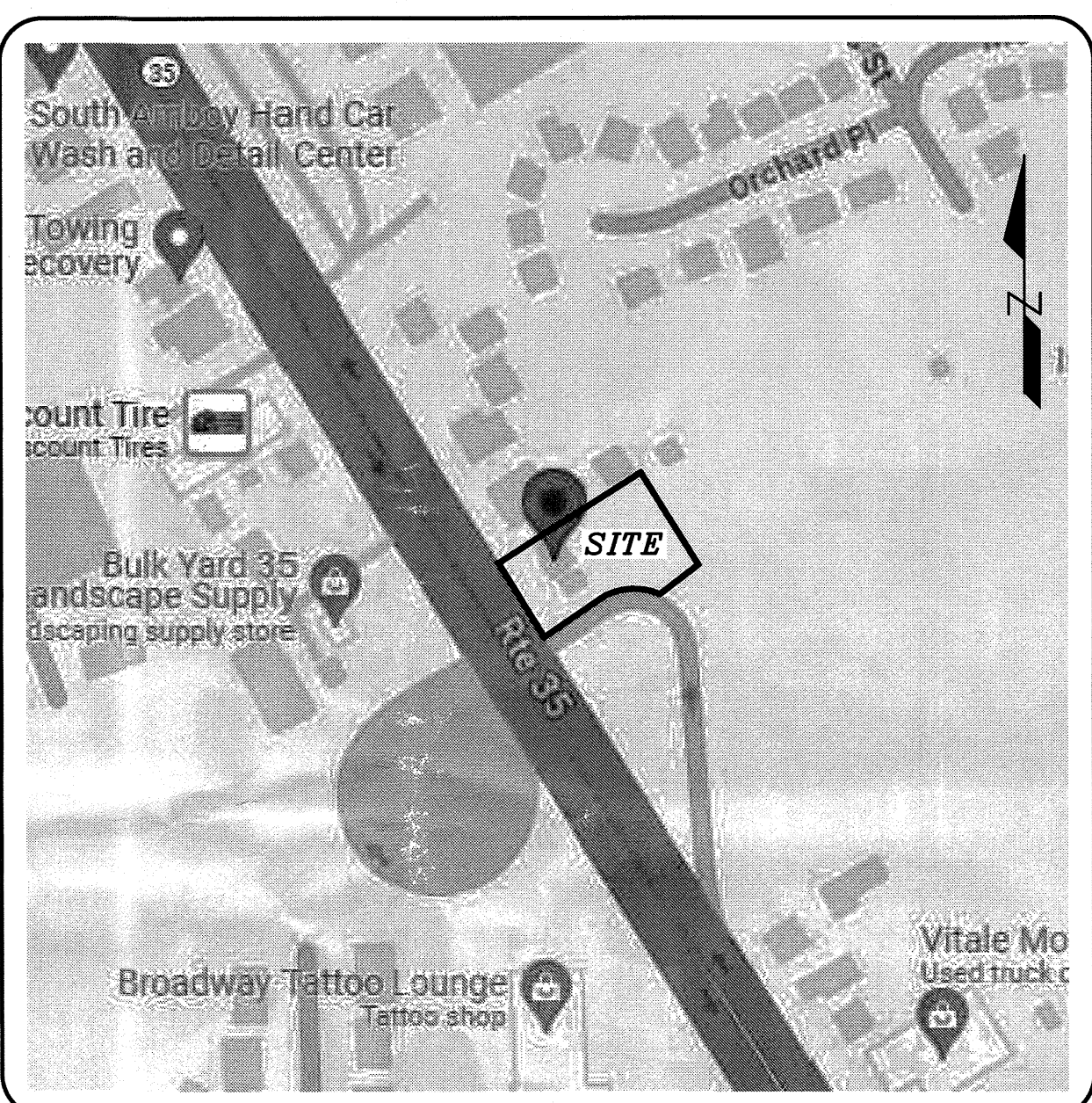
PRELIMINARY & FINAL MAJOR SITE PLAN

2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING

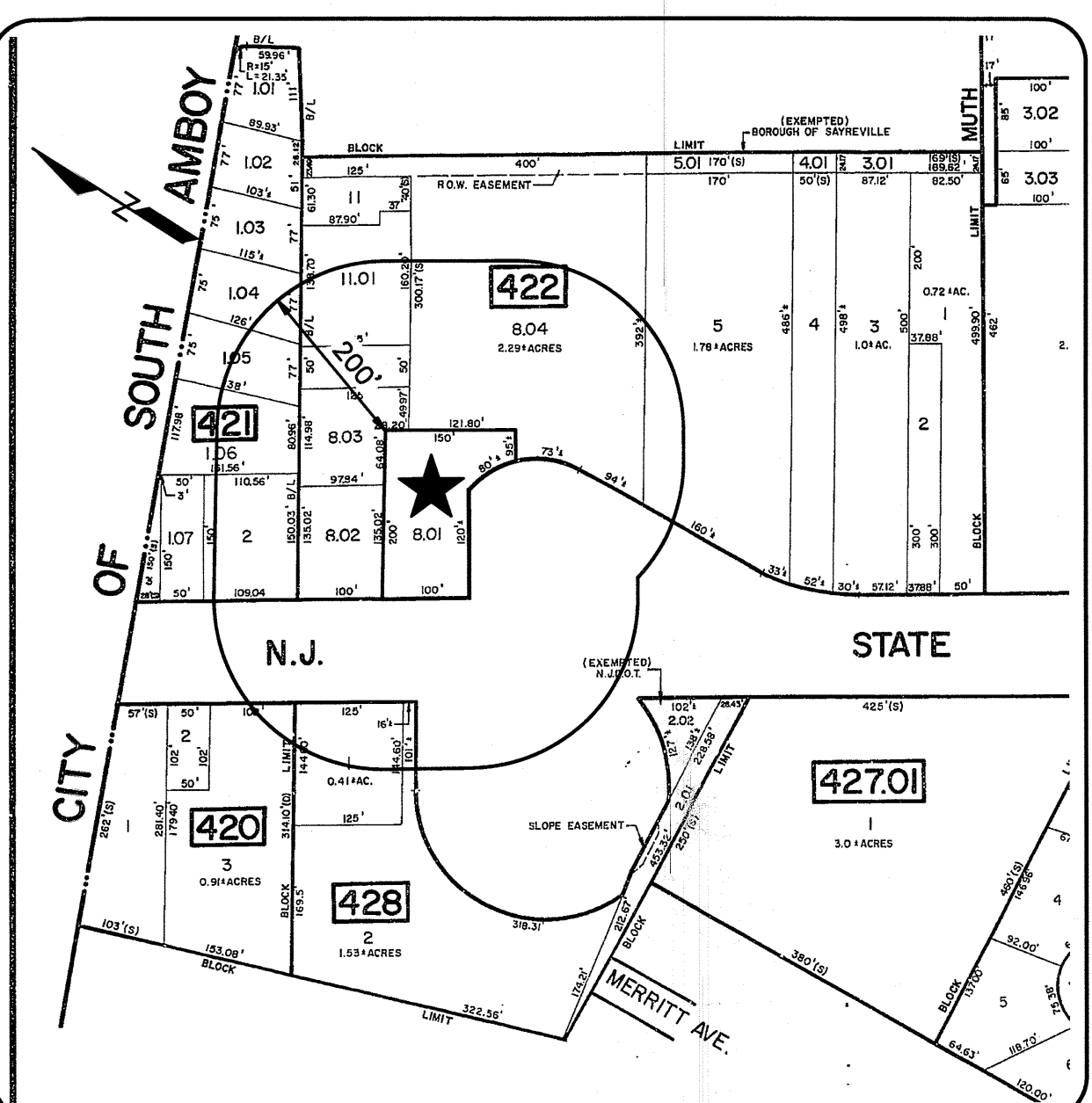
BLOCK 422, LOT 8.01

BOROUGH OF SAYREVILLE

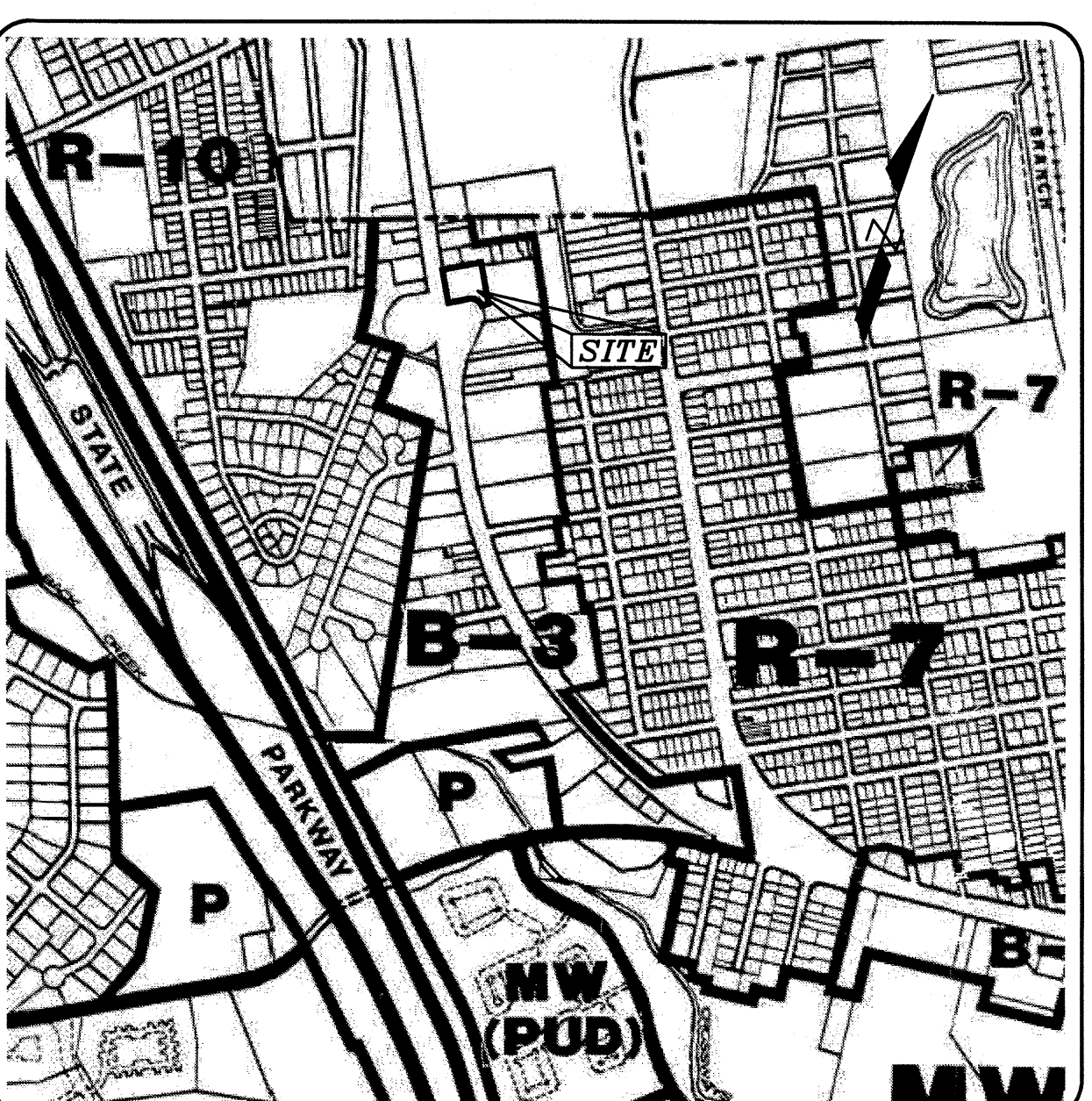
MIDDLESEX COUNTY, NEW JERSEY



KEY MAP
SCALE: 1" = 200' ±



TAX MAP SHEET No. 121
SCALE: 1" = 200' ±



ZONING MAP
SCALE: 1" = 1,000' ±

LIST OF UTILITY COMPANIES

LIST OF SAYREVILLE UTILITIES (2024):

NUDEP 36 West State Street P.O. Box 42 Trenton, NJ 08625	PSE&G 15 Hoes Lane New Brunswick, NJ 08902 732-721-7000 OR: 80 Park Plaza P.O. Box 670 Newark, NJ 07102
Middlesex County Planning Board 75 Bayard Street - 5th Floor New Brunswick, NJ 08902 732-745-3812	JCP&L c/o FirstEnergy 300 Madison Avenue P.O. Box 1911 Morristown, NJ 07962-1911 Attn: Corporate Properties 732-723-6509 or 1-800-662-3115
NJDOT David Goldberg Transportation Center 1035 Parkway Avenue P.O. Box 600 Trenton, NJ 08625	Borough of Sayreville Water & Sewer 3751 Bordentown Avenue Parlin, NJ 08859 732-390-7080
New Jersey Natural Gas Company 1415 Wyckoff Road Wall Township, NJ 07727	Middlesex County Utilities Authority (MCUA) 2571 Main Street Sayreville, NJ 08872-0086
Cablevision 275 Centennial Avenue CN8805 Piscataway, NJ 08855-6805 Attn: Construction Department 732-983-0606	Transcontinental Gas Pipeline Corporation 315 Cold Soil Road Lawrenceville, NJ 08540 Attn: Robert Ford 1-800-440-8475 OR: P.O. Box 1396 Houston, TX 77251
Middlesex County Landfill 53 Edgeboro Road East Brunswick, NJ 08816-1636 732-246-5113	Home News Tribune 92 East Main Street, Suite 202 Somerville, NJ 08876
Consolidated Rail Corporation 330 Fellowship Road, Suite 300 Mount Laurel, NJ 08054	Star Ledger 1 Gateway Center, Suite 1100 Newark, NJ 07102
Verizon New Jersey 540 Broad Street - 20th Floor Newark, NJ 07102 OR: P.O. Box 152208 Irving, TX 75015	

UTILITY NOTES

- EXISTING UTILITY INFORMATION IS BASED ON INFORMATION OF RECORD AND HAS BEEN GATHERED FROM NUMEROUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND REQUEST A MARKOUT BY CONTACTING N.J. ONE-CALL AT (800) 272-1000. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND. THE ELECTRIC COMPANY, TELEPHONE & CATV PROVIDERS WILL DETERMINE IF UNDERGROUND SERVICES CAN BE PROVIDED. IF NOT, THEN THOSE UTILITIES SHALL BE OVERHEAD.
- A ROAD OPENING PERMIT MAY BE REQUIRED TO CONNECT CERTAIN UTILITIES TO OFF-SITE FACILITIES. THE CONTRACTOR SHALL OBTAIN THIS PERMIT BY CONTACTING THE MUNICIPAL ROAD DEPARTMENT.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM AND PROTECTED AND/OR COVERED WITH STEEL PLATES WHEN WORK IS NOT IN PROGRESS.

DRAWING INDEX

SHEET NO.	DESCRIPTION	DATE	REVISION DATE
1	COVER SHEET	05-16-24	-
2	EXISTING CONDITIONS / DEMOLITION PLAN	05-16-24	-
3	SITE LAYOUT PLAN	05-16-24	-
4	GRADING & UTILITY PLAN	05-16-24	-
5	LANDSCAPING PLAN	05-16-24	-
6	LIGHTING PLAN	05-16-24	-
7	LIGHTING DETAILS	05-16-24	-

B-3 HIGHWAY BUSINESS ZONE DISTRICT REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED	VARIANCE REQ.
LOT REQUIREMENTS				
MINIMUM LOT AREA	20,000 S.F.	20,889 S.F.	20,889 S.F.	NO
MIN. LOT WIDTH	100 FT	88.2 FT	88.2 FT	*
MIN. LOT DEPTH	100 FT	200 FT	200 FT	NO
BUILDING SETBACKS				
FRONT YARD	50 FT	32.2 FT *	40.0 FT	YES
SIDE YARD	10/20 FT	18.5/47.0 FT	18.0/35.0 FT	NO
REAR YARD	25 FT	124.7 FT	105.0 FT	NO
ACCESSORY SHED				
FRONT YARD	N/A	N/A	N/A	NO
SIDE YARD	10 FT	N/A	N/A	NO
REAR YARD	25 FT	N/A	N/A	NO
BLDG. COVERAGE				
MAXIMUM PERMITTED	25%	7.1% (1,600 S.F.)	8.2% (1,857 S.F.)	NO
LOT COVERAGE				
MAXIMUM PERMITTED	85%	29.3% (6,626 S.F.)	28.4% (6,420 S.F.)	NO
HEIGHT LIMITATIONS				
MAX. BLDG. HEIGHT	35 FT	22± FT	28± FT	NO

* EXISTING NON-CONFORMITY

OFF STREET PARKING REQUIREMENTS (CH. 26-88)

USE	REQUIREMENT	SQUARE FOOTAGE PROPOSED	SPACES REQUIRED
OFFICE AREAS	4 SPACES PER 1,000 S.F.	3,898 S.F.	15.6 SPACES
STORAGE	1 SPACE PER 5,000 S.F.	242 S.F.	0.05 SPACES
	TOTAL REQUIRED		16 SPACES
	TOTAL PROVIDED		10 SPACES *

* REAR OPEN AREA NOT INCLUDED IN CALCULATION TO BE CONSERVATIVE, VARIANCE REQUESTED.

SIGNATURE BLOCKS

APPLICATION NO. _____ APPROVED
BY THE BOROUGH OF SAYREVILLE
PLANNING BOARD AS A MAJOR SITE PLAN
ON _____ DATE _____

BOARD CHAIRMAN _____

BOARD SECRETARY _____

BOARD ENGINEER _____

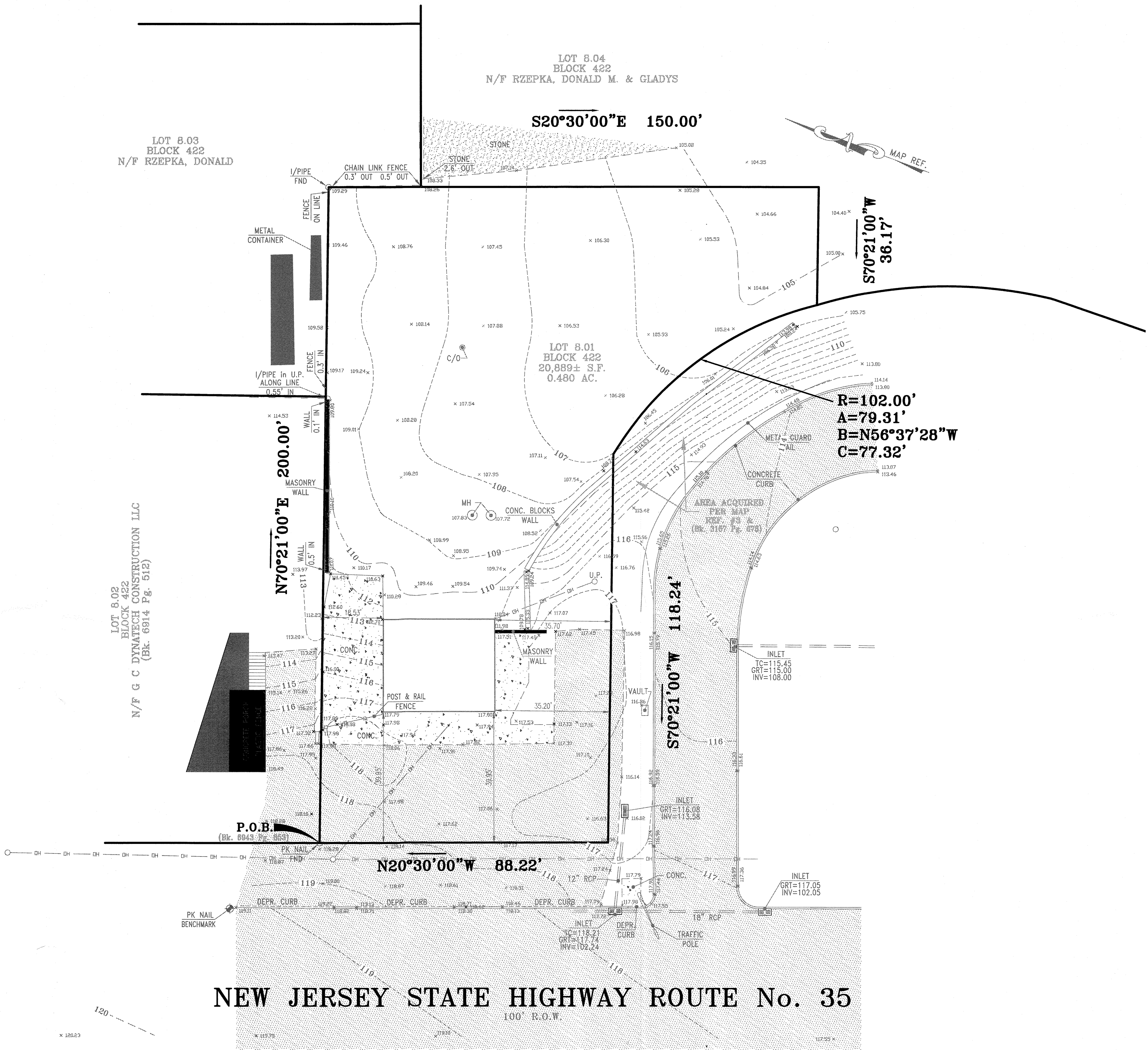
GENERAL NOTES

- SITE IS KNOWN AS BLOCK 422, LOT 801 AS DEPICTED ON SHEET 121 OF THE BOROUGH OF SAYREVILLE TAX MAPS. TOTAL LOT AREA IS 20,889 SQ.FT. (0.480 ACRES).
- OWNER: ORB REALTY, LLC
2060 HIGHWAY 35
SOUTH AMBOY, NJ 08879
- APPLICANT: PRESTIGE PLUMBING & HEATING, INC.
26 JOHNSON STREET
STATEN ISLAND, NY 10309
TEL: (917) 886-7249
- OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "TOPOGRAPHIC SURVEY OF TAX LOT 8.01 IN BLOCK 422, LOCATED IN BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY", PREPARED BY JAMES D. DEADY SURVEYOR, LLC, REVISED DATED JANUARY 5, 2023.
- HORIZONTAL CONTROL BASED ON NAD83 (NAD '83). VERTICAL DATUM BASED ON ASSUMED DATUM.
- THE SITE IS LOCATED WITHIN FEMA FLOOD HAZARD ZONE X (AREAS OUTSIDE FLOOD HAZARD) AS DEPICTED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 3402300159F EFFECTIVE DATE JULY 6, 2010.
- THE PROPERTY IS LOCATED WITHIN THE B-3 "HIGHWAY BUSINESS" ZONE DISTRICT.
- THE APPLICANT PROPOSES TO RENOVATE THE EXISTING BUILDING ON THE PROPERTY IN ORDER TO CONSTRUCT A TWO-STORY STRUCTURE WITH A WALK-OUT BASEMENT.
- DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES, ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED. NO OTHER PURPOSE IS INTENDED OR IMPLIED.
- REFER TO ARCHITECTURAL DRAWINGS PREPARED BY LAWRENCE MANDARINO, ARCHITECT FOR BUILDING CONSTRUCTION AND DETAILS.
- CONSTRUCTION OF SITE IMPROVEMENTS AND BUILDINGS SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, TOWNSHIP DESIGN STANDARDS, AND NOISE CODE.
- THE EXISTING BUILDING IS PRESENTLY CONNECTED TO PUBLIC WATER & INDIVIDUAL SEPTIC DISPOSAL SYSTEM. NO CHANGES ARE NECESSARY TO THE UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION, AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- NO TREE REMOVAL IS PROPOSED.
- SOLID WASTE PICKUP SHALL BE BY PRIVATE HAULER.
- SITE LIGHTING SHALL BE CONTROLLED BY A TIMER. SECURITY LIGHTING SHALL BE PROVIDED THROUGH ADDITIONAL MOTION ACTIVATED LIGHT FIXTURES, OR BY DIMMED THE EXISTING LIGHTING TO 50% AFTER HOURS.
- AT COMPLETION OF CONSTRUCTION, AND PRIOR TO THE ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY, THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT AN AS-BUILT SURVEY OF THE PROPERTY TO THE MUNICIPAL ENGINEER FOR REVIEW.

NO.		DATE		DESCRIPTION	
PRELIMINARY & FINAL MAJOR SITE PLAN					
2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING, INC.					
SITE LAYOUT PLAN					
BLOCK 422, LOT 8.01 - TAX MAP SHEET NO. 121					
BOROUGH OF SAYREVILLE			MIDDLESEX COUNTY, NEW JERSEY		
		EAST POINT ENGINEERING, LLC		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180	
		DATE: 05-16-24		PROJECT NUMBER: 23-345	
M.S. LEBER		N/A		CHECKED BY: BNP	
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 248ED4492400		DATE: 5-16-24		SHEET NO. 1 OF 7	
N.J. PROFESSIONAL PLANNER, LICENSE NO. 321CD0099002					

DEMOLITION NOTES

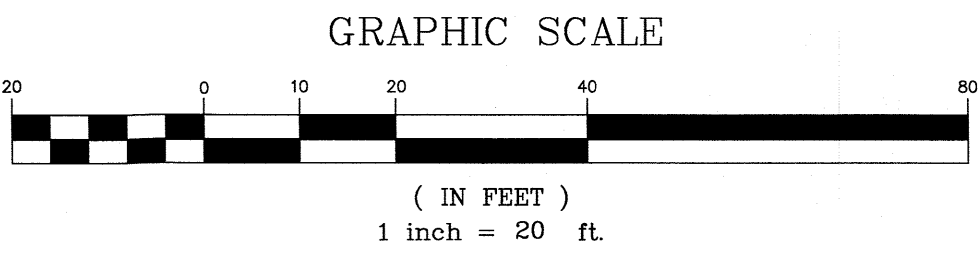
1. CLEARING SITE SHALL INCLUDE, BUT IS NOT LIMITED TO, THE REMOVAL OF ALL INDICATED STRUCTURES, FOUNDATIONS, DEBRIS, RUBBLE, FENCES, TREES, STUMPS, EXISTING UTILITIES, UNSUITABLE MATERIALS, PAVEMENT, CONCRETE, AND SIGNAGE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL MATERIALS EXCAVATED OF WHATEVER NATURE AT HIS OWN EXPENSE. THE MUNICIPALITY IS NOT RESPONSIBLE FOR PROVIDING A DISPOSAL SITE. MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH N.J.D.E.P. AND LOCAL REGULATIONS.
3. EXISTING ONSITE SUITABLE SOIL SHALL BE EXCAVATED, TRANSPORTED, SPREAD, GRADED, AND COMPACTED AS INDICATED BY THE PROPOSED GRADES. ALL EARTHWORK OPERATIONS INVOLVING ONSITE SOILS SHALL BE COMPLETED PRIOR TO IMPORTING ANY OFFSITE MATERIALS.
4. ANY UNSUITABLE MATERIAL FOUND ON SITE DURING DEMOLITION SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH N.J.D.E.P. AND LOCAL REGULATIONS.
5. NO TOPSOIL IS TO BE REMOVED FROM THE PROJECT SITE.
6. PRIOR TO COMMENCING DEMOLITION, THE CONTRACTOR SHALL SECURE THE APPROPRIATE PERMITS FROM THE MUNICIPALITY. IN ORDER TO APPLY FOR A DEMOLITION PERMIT, UTILITY DISCONNECTS MUST BE COORDINATED WITH THE UTILITY COMPANIES INDICATED ON THE COVER SHEET. CONFIRMATION OF THE DISCONNECTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT.
7. IF APPROVED BY THE MUNICIPAL ENGINEER, EXISTING CONCRETE MAY BE STORED ON SITE AND RECYCLED FOR USE AS COMPACTED FILL MATERIAL.
8. ALL SOIL EROSION & SEDIMENT CONTROL DEVICES MUST BE IN PLACE AND NOTICE PROVIDED TO THE SOIL CONSERVATION DISTRICT 72 HOURS PRIOR TO COMMENCING WORK.
9. A UTILITY MARKOUT MUST BE OBTAINED PRIOR TO DEMOLITION BY CONTACTING NEW JERSEY ONE-CALL AT 800-272-1000.
10. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND THE EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE HELD NO LESS THAN 48 HOURS PRIOR TO WORK COMMENCING AND ALL UTILITY COMPANIES SHALL BE NOTIFIED.
11. DUMPSTERS USED FOR THE STORAGE OF CONSTRUCTION DEBRIS ARE NOT TO BE LEFT UNCOVERED OVERNIGHT.



NEW JERSEY STATE HIGHWAY ROUTE No. 35


NOTE:

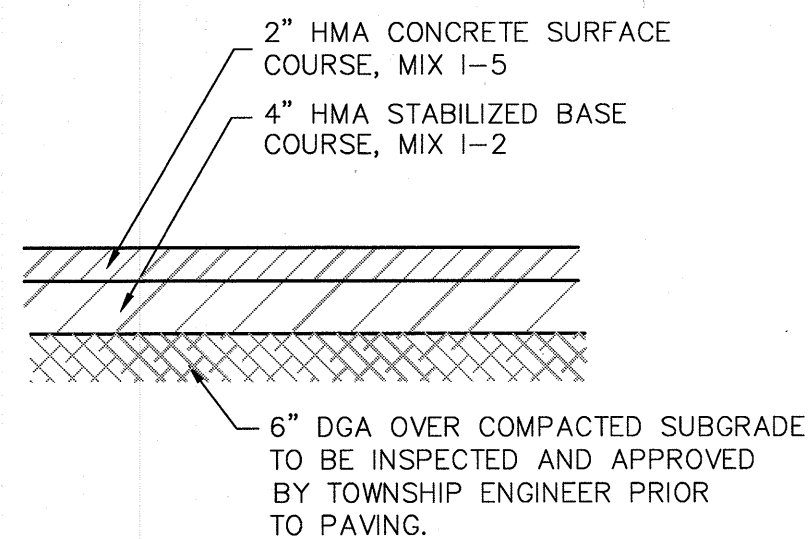
- EXISTING BUILDING TO BE RENOVATED / PARTIALLY DEMOLISHED.
- ALL OTHER EXISTING IMPROVEMENTS ARE TO REMAIN.



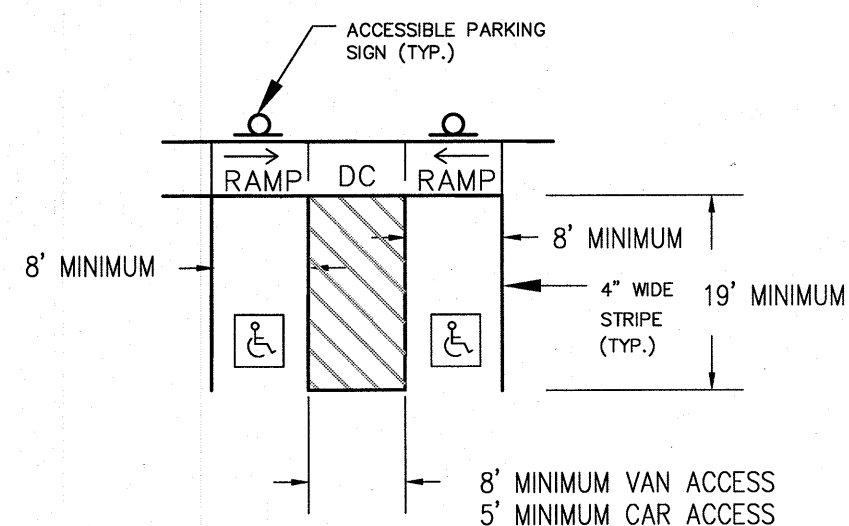
SURVEY NOTE:

OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "TOPOGRAPHIC SURVEY OF TAX LOT 8.01 IN BLOCK 422, LOCATED IN BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NJ, PREPARED BY JAMES P. DEADY SURVEYOR, LLC, REVISED DATED JANUARY 5, 2023.

NO.	DATE	DESCRIPTION
PRELIMINARY & FINAL MAJOR SITE PLAN		
2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING, INC.		
SITE LAYOUT PLAN		
BLOCK 422, LOT 8.01 - TAX MAP SHEET NO. 121		
BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY		
		
EAST POINT ENGINEERING, LLC		
11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180		
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 249A28169800		
DATE:	05-16-24	PROJECT NUMBER:
SCALE:	1" = 20'	CHECKED BY:
MARC S. LEBER		SNP
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604493400		
N.J. PROFESSIONAL PLANNER, LICENSE NO. 3310099900		
DATE		
05-16-24		
SHEET NO. 2 OF 7		

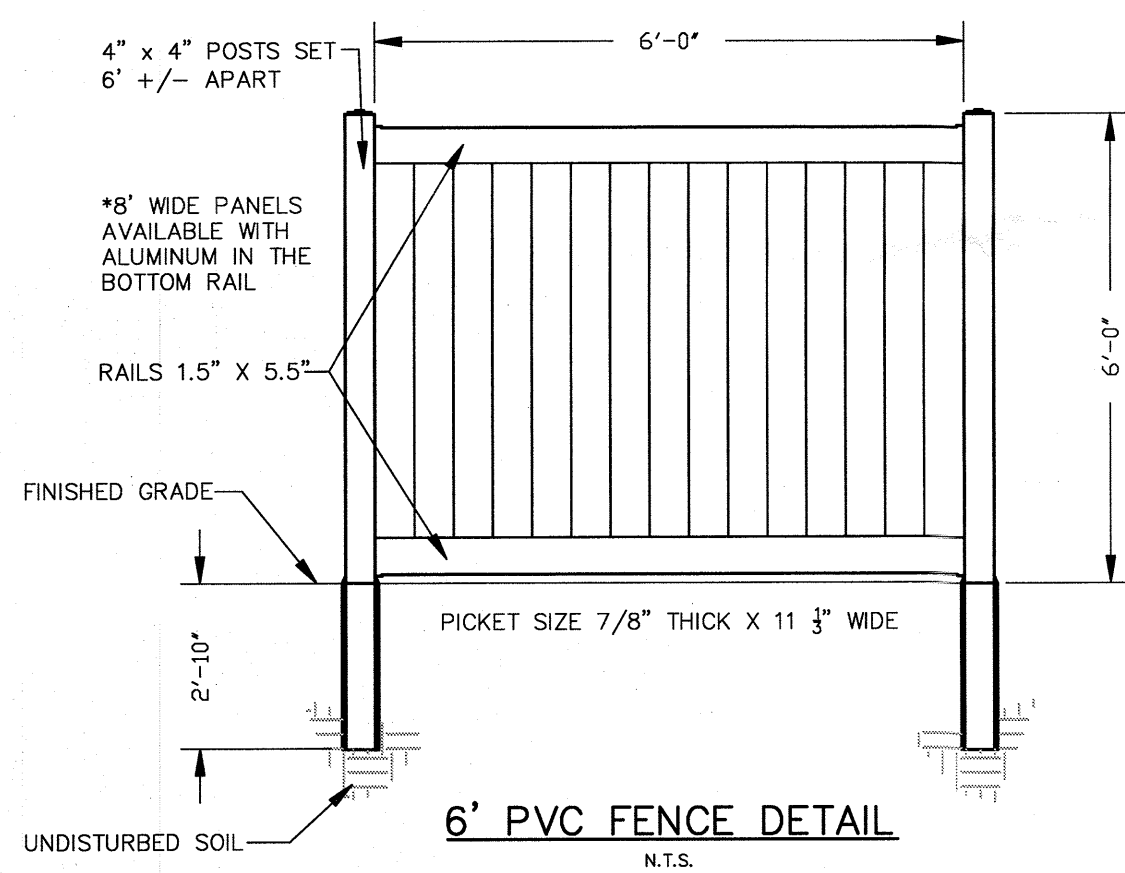


PARKING AREAS TYPICAL PAVEMENT SECTION N.T.S.



- NOTES:
1. ALL STALLS SHALL BE A MINIMUM OF 8'X18'.
2. SPACES DESIGNATED AS BEING "VAN ACCESSIBLE" SHALL BE ADJACENT TO ACCESS AISLES WITH A MIN. WIDTH OF 8 FEET.
3. PROPOSED STRIPING SHALL BE BLUE IN COLOR.
4. STRIPING SHALL BE LONG-LIFE EPOXY RESIN OR THERMOPLASTIC.

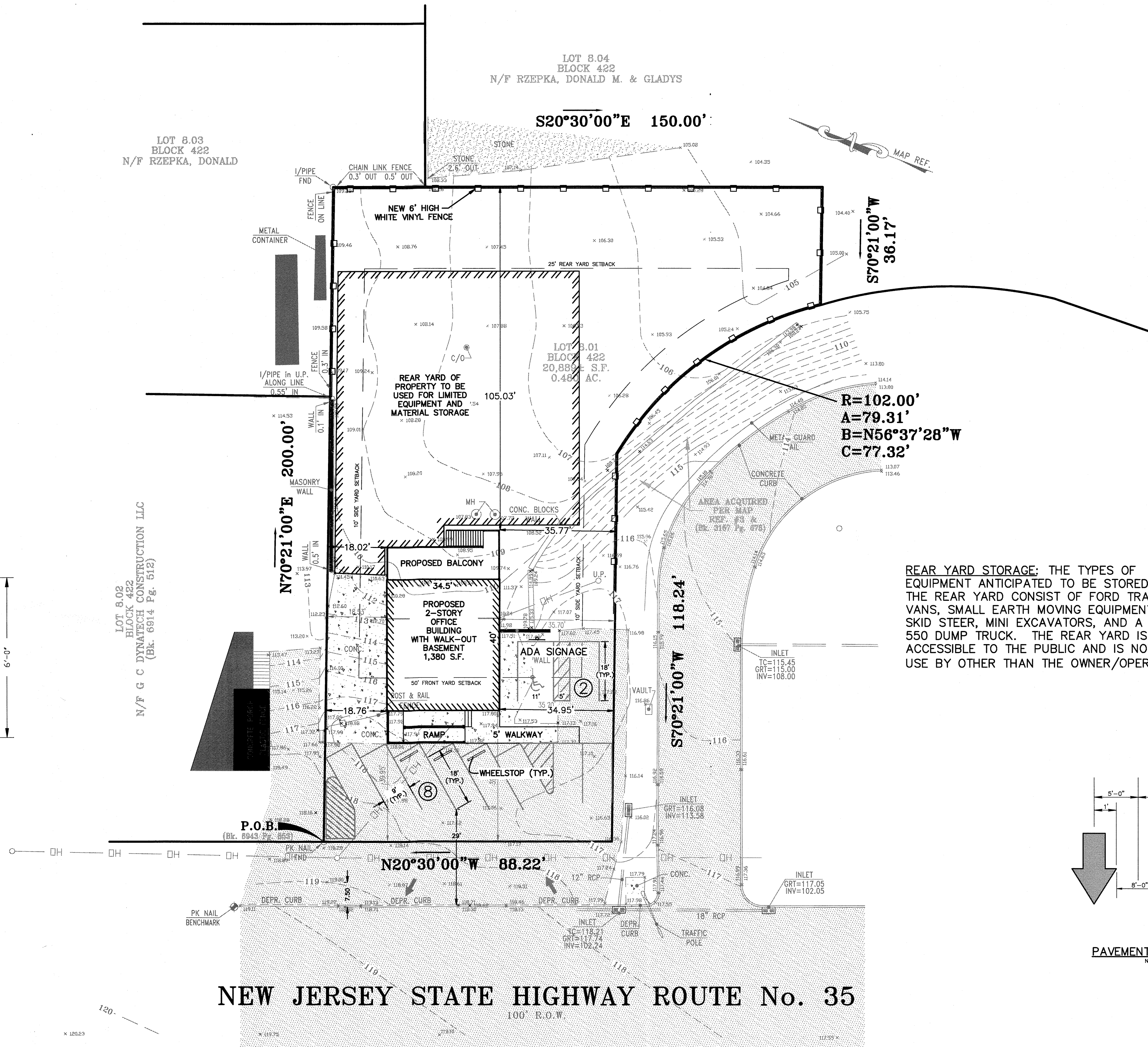
ACCESSIBLE PARKING STRIPING LAYOUT N.T.S.



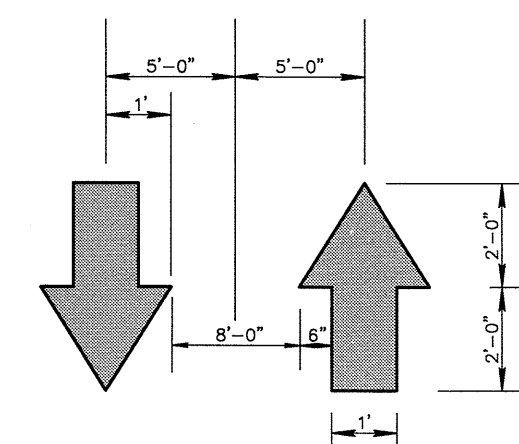
LOT 8.03
BLOCK 422
N/F RZEPKA, DONALD

LOT 8.04
BLOCK 422
N/F RZEPKA, DONALD M. & GLADYS

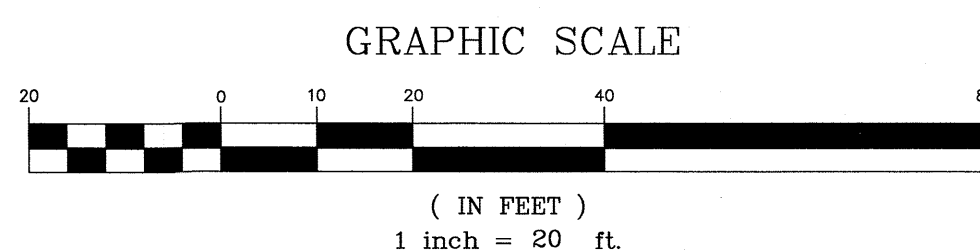
LOT 8.02
BLOCK 422
N/F G C DYNAMATE CONSTRUCTION LLC
(Bk. 6814 Pg. 512)



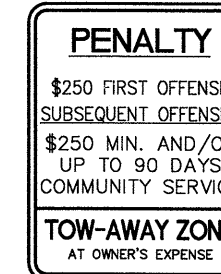
REAR YARD STORAGE: THE TYPES OF EQUIPMENT ANTICIPATED TO BE STORED IN THE REAR YARD CONSIST OF FORD TRANSIT VANS, SMALL EARTH MOVING EQUIPMENT, A SKID STEER, MINI EXCAVATORS, AND A FORD 550 DUMP TRUCK. THE REAR YARD IS NOT ACCESSIBLE TO THE PUBLIC AND IS NOT FOR USE BY OTHER THAN THE OWNER/OPERATOR.



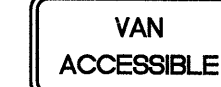
NEW JERSEY STATE HIGHWAY ROUTE No. 35 100' R.O.W.



R7-8
12" x 18"



R7-8P
10" x 12"



R7-8A
12" x 6"

A.D.A. SIGNAGE
N.T.S.

SITE IMPROVEMENT NOTES

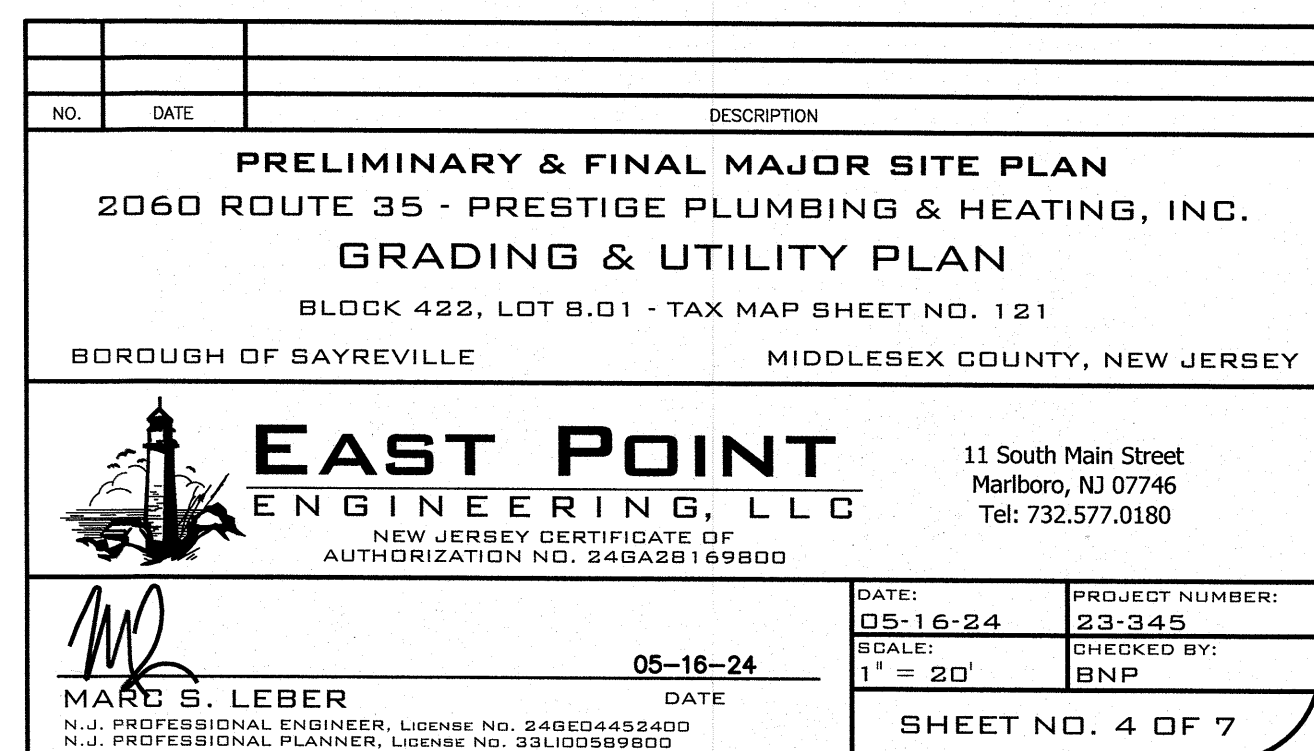
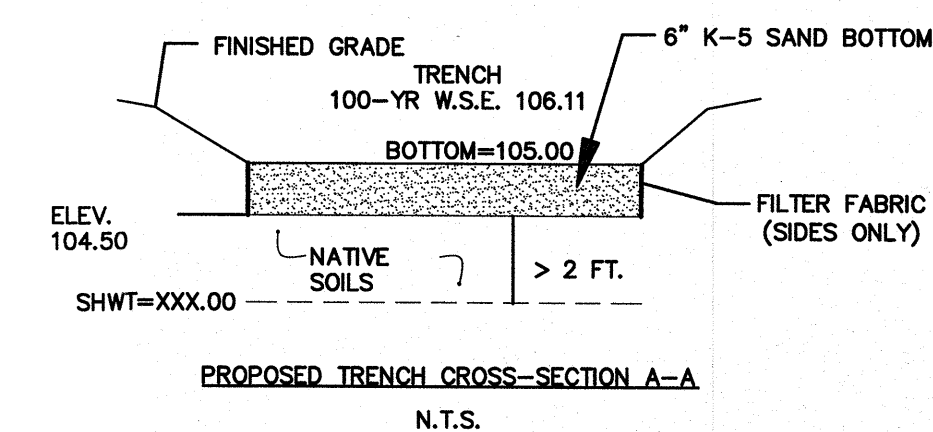
- ALL SIGNS, STRIPING, AND DEVICES FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.), LATEST EDITION.
- ALL JOINTS WITH EXISTING PAVED AREAS/ROADS SHALL BE CONSTRUCTED WITH A NEAT SAWCUT AND KEYWAY. JOINTS WITH EXISTING CONCRETE SHALL BE SAWCUT AND A BITUMINOUS MATERIAL PROVIDED AS AN EXPANSION JOINT FILLER.
- ALL PARKING STALLS TO BE 9' x 18' UNLESS OTHERWISE NOTED ON THE PLANS.
- SIDEWALKS, APRONS, RAMPS, AND CURBS TO BE CONSTRUCTED OF N.J.D.O.T. CLASS 'C', 4,500 PSI CONCRETE OR AS INDICATED IN THE CONSTRUCTION DETAILS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
- DEPRESSED CURBS AT ALL CURB RAMPS SHALL BE CONSTRUCTED OUT OF CONCRETE AND INCLUDE A DETECTABLE WARNING SURFACE.
- A KNOX BOX SHALL BE PROVIDED AT THE BUILDING ENTRANCE FOR FIRE DEPARTMENT ACCESS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING CONSTRUCTION INFORMATION.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW AND THE SCREEN SHALL LIMIT NOISE FROM BEING DIRECTED TOWARDS ADJOINING PROPERTIES.
- ALL CURB RADII ARE MEASURED TO THE FACE OF CURB.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE TOWNSHIP DESIGN STANDARDS AND DETAILS. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE AS-BUILT DRAWINGS TO THE PLANNING BOARD ENGINEER UPON COMPLETION OF THE WORK.
- ANY REQUIRED STRIPING AND / OR FIRE ZONE STRIPING AS MAY BE REQUIRED BY THE BOROUGH FIRE OFFICIAL MUST BE INSTALLED PER THE PLAN.

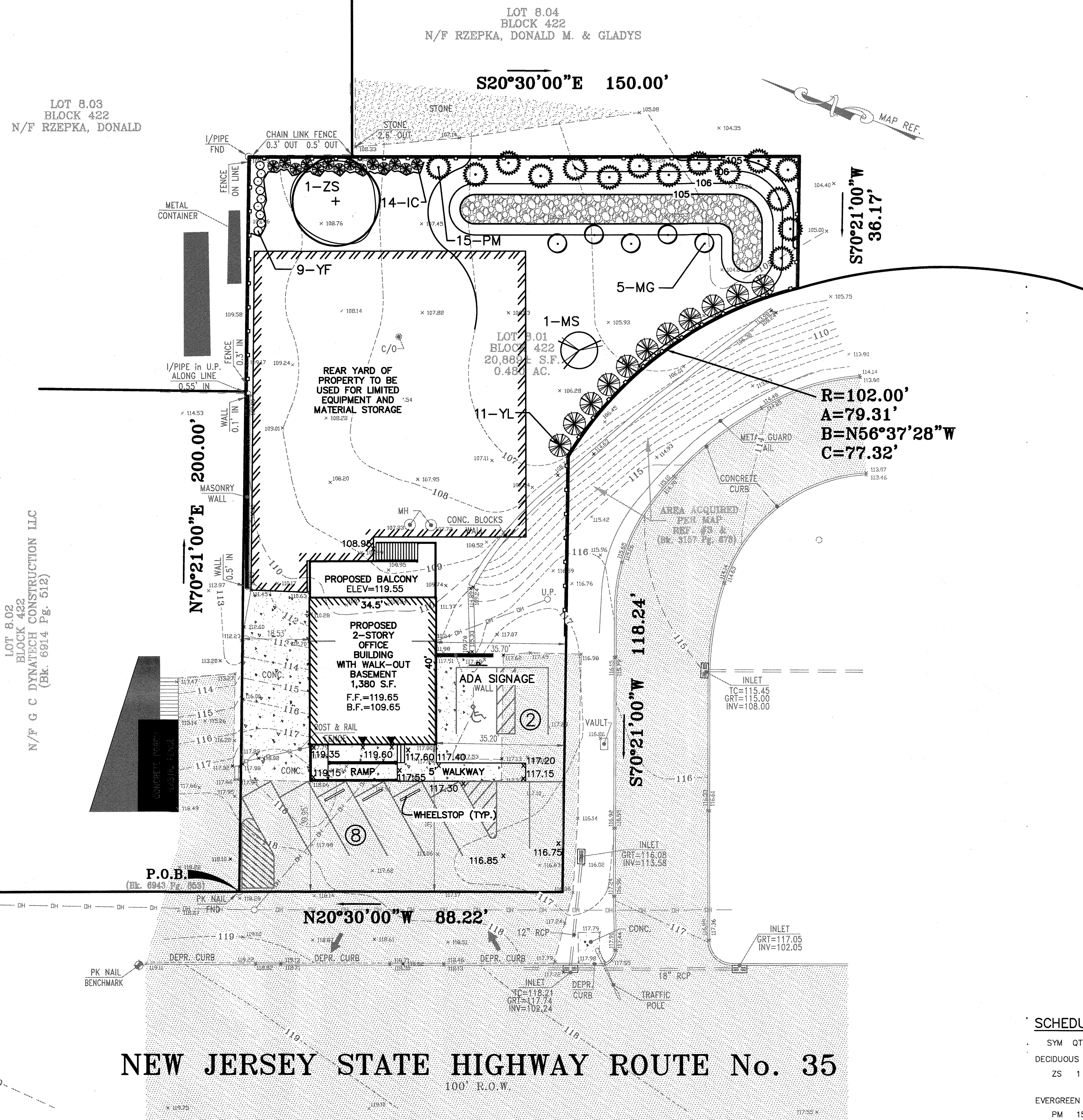
CONSTRUCTION NOTES

- THE OWNER IS RESPONSIBLE FOR SITE SAFETY. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(F) (OSHA COMPETENT PERSON). EAST POINT ENGINEERING IS NOT RESPONSIBLE FOR SITE SAFETY.
- UPON ISSUANCE OF CONSTRUCTION DOCUMENTS, IT IS EXPLICITLY UNDERSTOOD THAT EAST POINT ENGINEERING IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.
- THESE PLANS DEPICT VARIOUS IMPROVEMENTS TO BE LOCATED ON THE PROPERTY IN QUESTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT SAID IMPROVEMENTS ARE STAKED OUT IN THE CORRECT LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, BY RETAINING A NEW JERSEY LICENSED LAND SURVEYOR. EAST POINT ENGINEERING SHALL NOT BEAR ANY RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF ANY PROPOSED IMPROVEMENTS, SPECIFICALLY IF BUILT IN LOCATIONS OTHER THAN THOSE DEPICTED, OR AT ELEVATIONS THAT DIFFER FROM THE PLAN.
- DUE TO THE EASE OF DIGITAL PLAN TRANSFER (I.E. PDF FORMAT DRAWINGS, DIGITAL PHOTOS), PRIOR TO ORDERING ANY MATERIALS OR COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT THE ENGINEER TO VERIFY THAT THE CONSTRUCTION DOCUMENTS ARE THE MOST CURRENT VERSION OF THE APPROVED PLANS, PARTICULARLY IF THE CONTRACTOR'S COPY OF THE PLANS WERE PROVIDED BY ANOTHER ENTITY.
- THE APPLICANT OR CONTRACTOR SHALL NOT MAKE CHANGES TO THE APPROVED PLANS IN THE FIELD. CHANGES TO THE PLAN COULD CONFLICT WITH THE TESTIMONY PLACED ON THE RECORD OR DEVIATE FROM THE CONDITIONS OF THE MUNICIPAL APPROVAL. SAME MAY RESULT IN A STOP WORK ORDER FROM THE MUNICIPALITY. ANY CHANGES WHATSOEVER MUST BE SUBMITTED TO THE BOARD ENGINEER FOR REVIEW, PRIOR TO THE CHANGES BEING PERFORMED.
- THE APPLICANT IS SUBJECT TO COMPLIANCE WITH ALL LOCAL MUNICIPAL ORDINANCES INCLUDING TREE REMOVAL PERMITTING, EARTHWORK/ BACKFILL ORDINANCE, SILT FENCE ORDINANCE, AND IS REQUIRED TO COMPLY WITH STORMWATER MANAGEMENT STANDARDS AS APPROVED FOR THE SITE.
- FAILURE TO FOLLOW THE APPROVED PLANS MAY RESULT IN DENIAL OF A CERTIFICATE OF OCCUPANCY. EAST POINT ENGINEERING IS NOT RESPONSIBLE FOR ADDRESSING FIELD DEVIATIONS FROM THE APPROVED PLANS OR NON-COMPLIANCE WITH ANY MUNICIPAL OR AGENCY OFFICIAL.

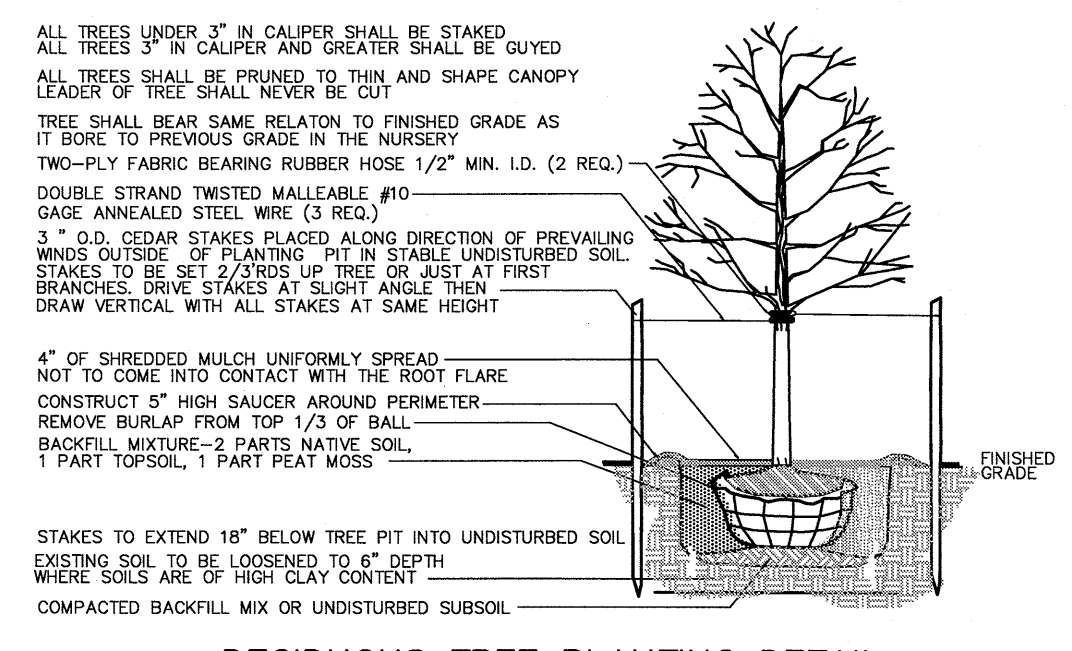
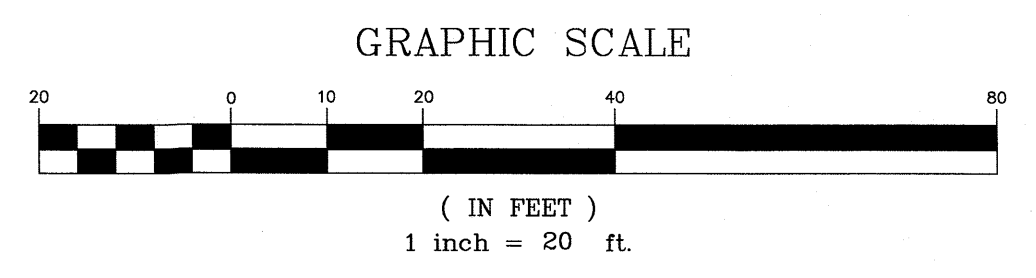
PAVEMENT MARKING LEGEND	
UNLESS OTHERWISE SHOWN, PAVEMENT MARKINGS SHOULD CONFORM TO THE FOLLOWING:	
CENTER LINE	-DBL. 4" WIDE SOLID YELLOW LINES, GAPPED AT INTERSECTIONS ONLY
EDGE LINE	-4" WIDE SOLID WHITE LINE, GAPPED AT INTERSECTIONS ONLY
STOP BAR	-24" WIDE SOLID WHITE LINE
PARKING STALL LINES	-4" WIDE SOLID WHITE LINE
HANDICAP STALL LINES	-4" WIDE SOLID BLUE LINE
HANDICAP HATCH LINES	-4" WIDE SOLID BLUE LINE -SPACED 3" O.C. -ANGLED 45° TO PARKING DIRECTION
NO PARKING HATCH LINES	-4" WIDE SOLID YELLOW LINE -SPACED 3" O.C. -ANGLED 45° TO PARKING DIRECTION
NOTES:	
1) ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	
2) ALL CONFLICTING SIGNS, TREES AND OTHER OBSTRUCTIONS SHALL BE REMOVED AS PART OF THIS CONSTRUCTION.	
3) ALL STRIPING TO BE REMOVED SHALL BE GROUND OFF WITHOUT DAMAGE TO THE PAVEMENT STRUCTURE.	
4) UNLESS OTHERWISE NOTED, ALL STRIPING SHALL BE LONG-LIFE EPOXY RESIN OR THERMOPLASTIC.	

NO.		DATE	DESCRIPTION
PRELIMINARY & FINAL MAJOR SITE PLAN			
2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING, INC.			
SITE LAYOUT PLAN			
BLOCK 422, LOT 8.01 - TAX MAP SHEET NO. 121			
BOROUGH OF SAYREVILLE		MIDDLESEX COUNTY, NEW JERSEY	
EAST POINT ENGINEERING, LLC		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180	
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800		DATE: 05-16-24	
MARD S. LEBER		PROJECT NUMBER: 23-345	
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604848000		CHECKED BY: BNP	
N.J. PROFESSIONAL PLANNER, LICENSE NO. 381005898000		SHEET NO. 3 OF 7	



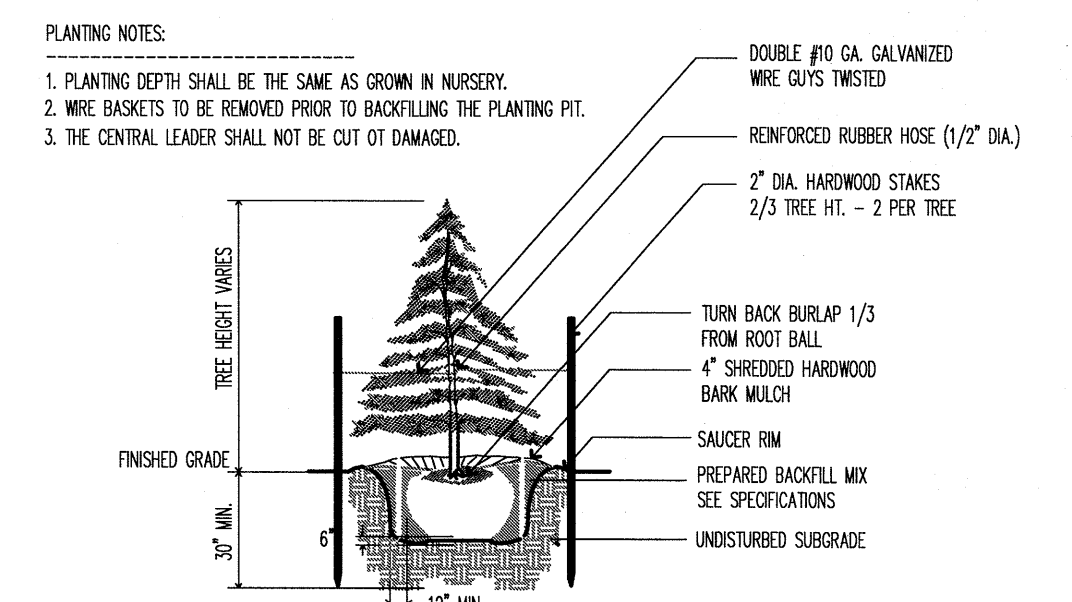


NEW JERSEY STATE HIGHWAY ROUTE No. 35



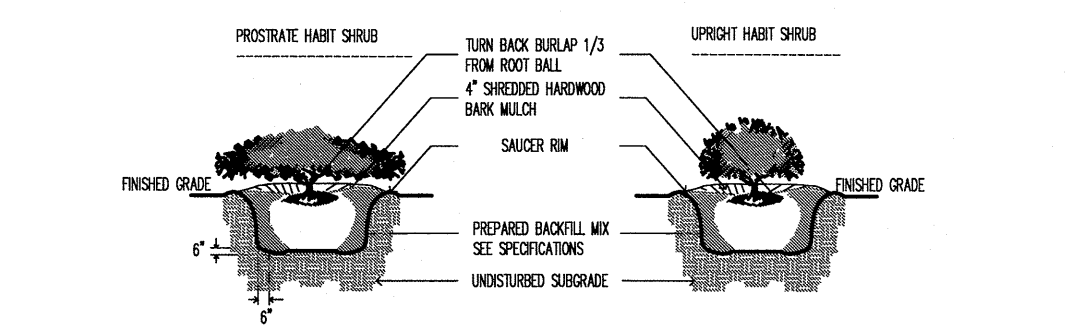
DECIDUOUS TREE PLANTING DETAIL

NOTE: ALL WIRE BASKETS SHALL BE REMOVED FROM THE TREE BALL AFTER SETTLING INTO THE PLANTING PIT.



CONIFEROUS TREE PLANTING DETAIL

NOTE: ALL WIRE BASKETS SHALL BE REMOVED FROM THE TREE BALL AFTER SETTLING INTO THE PLANTING PIT.



SHRUB PLANTING DETAIL

SCHEDULE OF PLANTING MATERIALS

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
ZS	1	ZELKOVA SERRATA	JAPANESE ZELKOVA	2.5"-3" CAL. 12'-15' HT.	B&B
EVERGREEN TREES					
PM	15	PICEA PUNGENS	COLORADO BLUE SPRUCE	5'-6" HT	B&B
YL	11	CUPRESSUS X LEYLANDII	LEYLAND CYPRESS	5'-6" HT	B&B
ORNAMENTAL TREES					
MS	1	MAGNOLIA STELLATA	STAR MAGNOLIA	8'-10' HT	B&B, MULTISTEMMED
SHRUBS					
IC	14	ILEX CRENATA 'HELLER'	DWARF JAPANESE HOLLY	36" HT	# 3 CAN
YF	9	YUCCA FILAMENTOSA	ADAM'S NEEDLE	15-18" HT	# 3 CAN
ORNAMENTAL GRASSES					
MG	5	MISCANTHUS SINENSIS 'GRACILIMUS'	CHINESE MAIDENGRASS	24-36" HT	# 3 CAN

PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE UNDERSIGNED IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARDS TO SIZE, SPECIES, VARIETY, ETC. WITHOUT WRITTEN PERMISSION OF THE THE UNDERSIGNED OR TOWNSHIP OFFICIALS. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS IS APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 5' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION, OR WITHIN 10' OF A SEPTIC FIELD, UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN ANY SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN ANY SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED AS MENTIONED ABOVE.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO NOT TO SPLIT THE TRUNKS OF MULTI-STEMMED TREES. UNLESS OTHERWISE NOTED, PROVIDE THREE TREE STAKES PER TREE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
- PROVIDE PLANTING PITS AS INDICATED ON THE PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS AFTER THE DATE OF FINAL ACCEPTANCE BY THE MUNICIPALITY.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS. A FULL TOPSOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
- ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SOD SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE OR AN APPROVED EQUAL LAWN SEED MIXTURE. SEED SHALL BE LISTED IN THE SEEDING SCHEDULE. ALL DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE LANDSCAPE ROCK OR RIVER STONE. THE USE OF SHREDDED HARDWOOD BARK OR MULCH IS PROHIBITED.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.
- AN IRRIGATION SYSTEM IS NOT PROPOSED.
- SHADE & STREET TREES SHOULD BE A MINIMUM OF 2.5"-3" CALIPER AND 12'-15' IN HEIGHT.
- ORNAMENTAL TREES SHOULD BE 8' TO 10' IN HEIGHT.
- SHRUBS SHOULD BE 18" IN HEIGHT UNLESS OTHERWISE NOTED IN THE SCHEDULE.
- ANY NON-Biodegradable MATERIALS SHALL BE REMOVED FROM THE ROOTBALLS AT THE TIME OF INSTALLATION.
- GUY WIRES AND STAKES WILL ONLY BE UTILIZED IF CONDITIONS MERIT. IF UTILIZED, SHOULD BE REMOVED BY THE DEVELOPER AT THE END OF THE GROWTH PERIOD.
- THE CENTRAL LEADER SHOULD NOT BE CUT OR REMOVED FROM THE DECIDUOUS TREES.
- ALL SHRUB AND TREE PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1-2004.
- LANDSCAPING SHALL HAVE A TWO (2) YEAR GUARANTEE.
- ROCKS SHALL NOT BE PLACED WITHIN 6" OF THE ROOT COLLAR. THE MINIMUM DIAMETER OF THE SCARIFIED SUB-GRADE SHALL BE 5 TIMES THE ROOT BALL DIAMETER. ALL TWINE, WIRE, ROPE AND BURLAP FROM THE TOP 3 OF THE ROOT BALL SHALL BE REMOVED.
- MYCOR TREE SAYER SHALL BE MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IN ADDITION, HEALTHY START MACRO TABS 12-6-8 SHALL BE PLACED IN THE UPPER 4" OF THE BACKFILL AROUND TREES AND SHRUBS. THE CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR USE WITH THESE PRODUCTS.
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL.
- VEGETATIVE COVER SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY AND APPROVED BY THE FREHOLD SOIL CONSERVATION DISTRICT.
- ALL AREAS WHERE NATURAL VEGETATION AND/OR SPECIMEN TREES ARE TO REMAIN SHALL BE PROTECTED BY THE ERECTION OF FENCING, AND NO DISTURBANCE SHALL OCCUR PRIOR TO INSPECTION BY TOWNSHIP ENGINEER AND THE ISSUANCE OF WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION. THESE PROTECTIVE MEASURES SHALL NOT BE ALTERED OR REMOVED WITHOUT THE PROPER APPROVAL OF THE TOWNSHIP ENGINEER.
- TOPSOIL IN LANDSCAPE AREAS SHALL HAVE A MINIMUM DEPTH OF TWO (2) FEET FOR SHRUBBERY AND FOUR (4) FEET FOR TREES.
- FOUR SEASON FOUNDATION PLANTINGS SHALL BE PROVIDED, AND ACCENTED WITH SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES.

NO.

DATE

DESCRIPTION

PRELIMINARY & FINAL MAJOR SITE PLAN

2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING, INC.

LANDSCAPING PLAN

BLOCK 422, LOT 8.01 - TAX MAP SHEET NO. 121

BOROUGH OF SAYREVILLE

MIDDLESEX COUNTY, NEW JERSEY

EAST POINT
ENGINEERING, LLC

NEW JERSEY CERTIFICATE OF
AUTHORIZATION NO. 246A28169800

11 South Main Street
Marlboro, NJ 07746
Tel: 732.577.0180

DATE:
05-16-24

PROJECT NUMBER:
23-345

SCALE:
1" = 20'

CHECKED BY:
BNP

DATE:
05-16-24

SHEET NO. 5 OF 7

COPYRIGHT © 2024 EAST POINT ENGINEERING, LLC - ALL RIGHTS RESERVED.

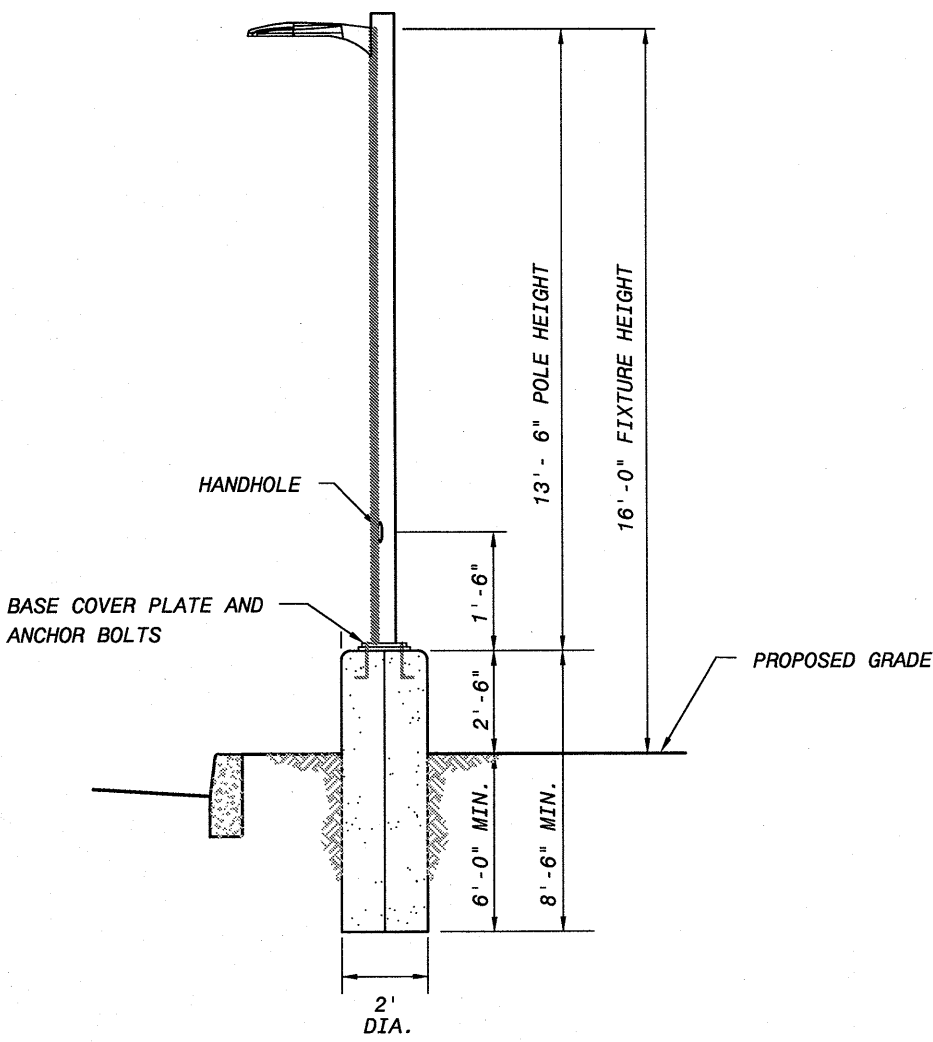
NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM EAST POINT ENGINEERING, LLC.

BY: [Signature]

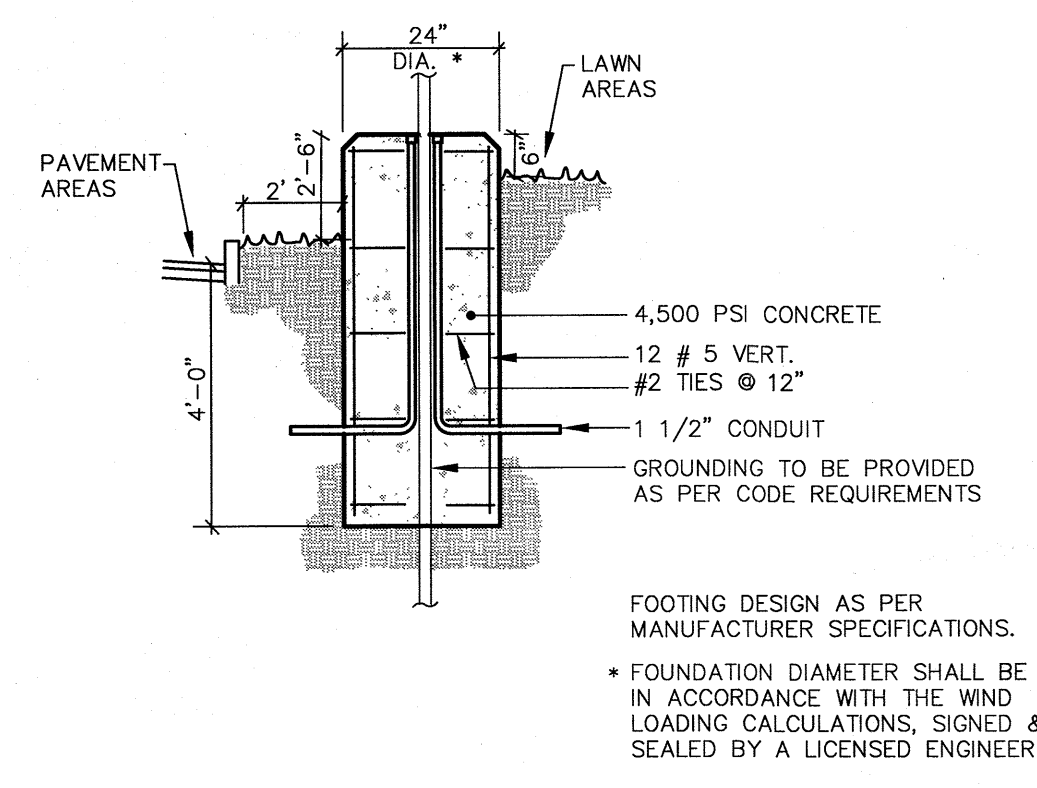
MARC S. LEBER

N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604459400

N.J. PROFESSIONAL PLANNER, LICENSE NO. 33100589800

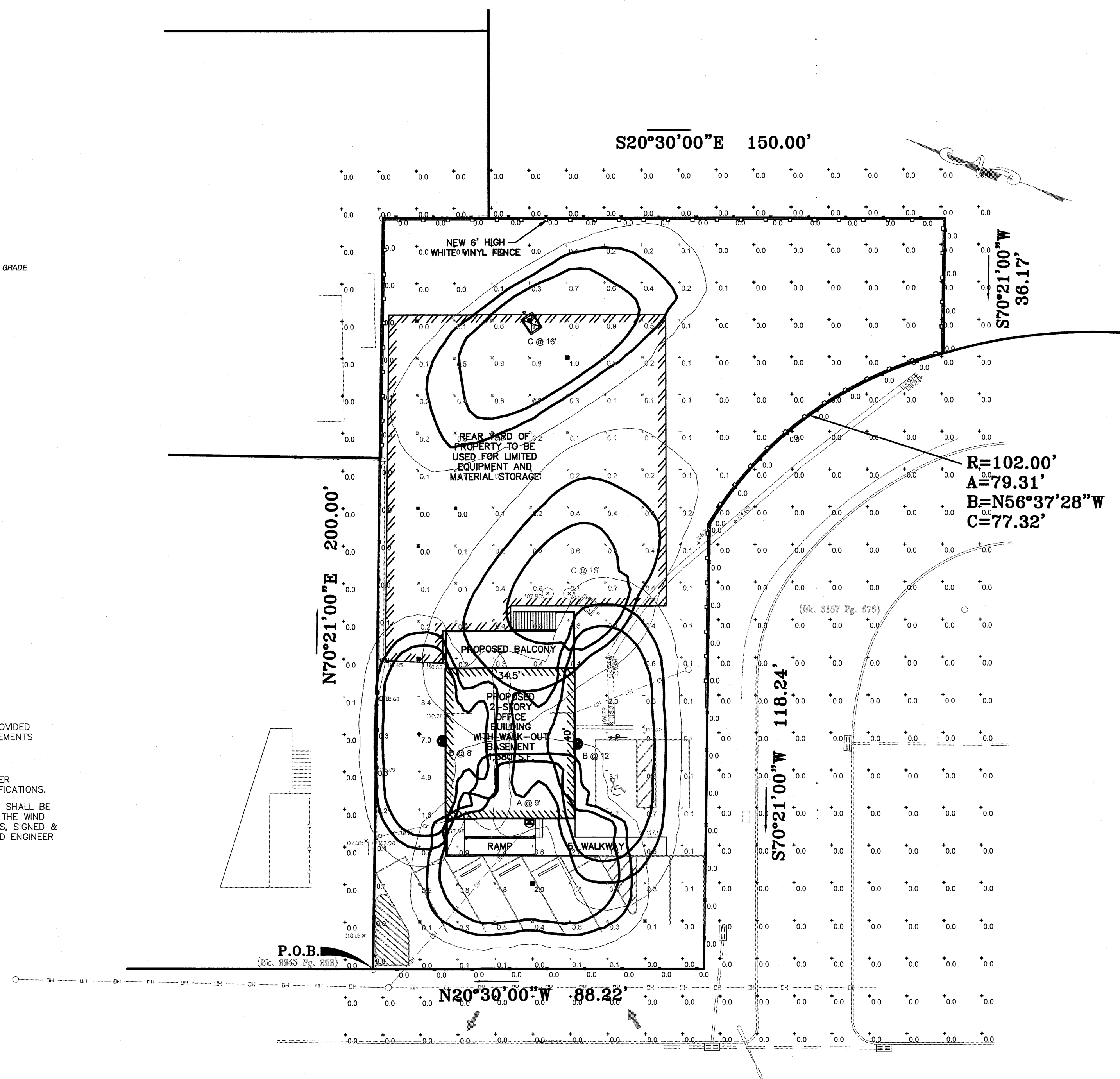


LIGHT POLE AND FIXTURE DETAIL
NOT TO SCALE



LIGHT POLE FOOTING
N.T.S.

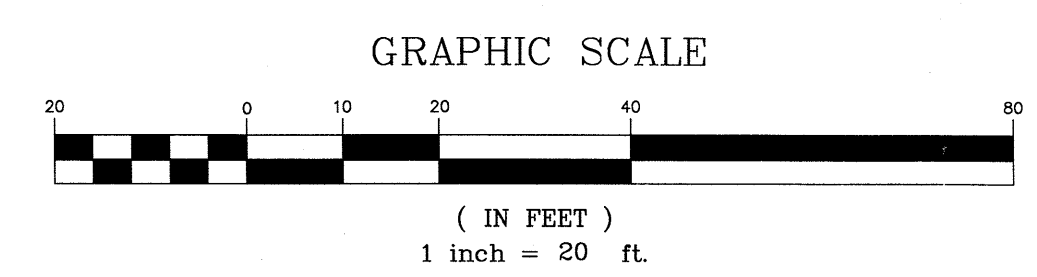
FOOTING DESIGN AS PER
MANUFACTURER SPECIFICATIONS.
* FOUNDATION DIAMETER SHALL BE
IN ACCORDANCE WITH THE WIND
LOADING CALCULATIONS, SIGNED &
SEALED BY A LICENSED ENGINEER



- ### LIGHTING NOTES
1. SITE LIGHTING LAYOUT AND DESIGN IS DEPICTED ON THE LIGHTING PLAN.
 2. ALL SITE LIGHTING SHALL RECEIVE UNDERGROUND ELECTRICAL SERVICE.
 3. A TIME CLOCK TO CONTROL THE SITE LIGHTING SHALL BE PROVIDED FOR ALL SITE LIGHTING. THE NECESSARY CONTROLS AND WIRING SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 4. HOURS OF THE PROPOSED SITE LIGHTING SHALL BE ONE-HALF HOUR BEFORE SUNSET TO ONE-HALF HOUR AFTER SUNRISE. LIGHTING MAY BE WIRED IN SECTIONS WITH SOME SECTIONS TURNING OFF AFTER MIDNIGHT TO CONSERVE ENERGY. ESSENTIAL SECTIONS DESIGNATED SECURITY LIGHTING SHALL NOT TURN OFF UNTIL ONE-HALF HOUR AFTER SUNRISE.
 5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE POLE FOUNDATIONS COMPLETE WITH CONDUITS FOR POWER, GROUNDING, AND ANCHOR BOLTS.
 6. ALL POLES THAT ARE NOT BEHIND CURBS OR WITHIN A CURBED ISLAND SHALL BE INSTALLED ON CONCRETE BASES THAT EXTEND 30" ABOVE THE FINISHED GRADE OF PAVEMENT. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE COMPLETE DESIGN OF THESE BASES AS SIGNED AND SEALED BY A NEW JERSEY LICENSED ENGINEER.
 7. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LIGHTING FIXTURES, POLES, FOUNDATIONS, AND LAMPS.
 8. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL THE REQUIRED BRANCH CIRCUIT WIRING AND CONNECT THE SITE LIGHTING FIXTURES TO THE PROPER CIRCUITS AFTER THEY HAVE BEEN INSTALLED.
 9. THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND RODS AND MAKE CONNECTION TO THE GROUND STUD. THE GROUND STUD SHOULD BE LOCATED INSIDE THE SHAFT AND ACCESSIBLE VIA A HANDHOLE.
 10. THE ELECTRICAL CONTRACTOR MUST COORDINATE THE INSTALLATION OF WIRING IN THE POLES UP TO THE LIGHTING FIXTURES.
 11. THE NUMBER AND SIZE OF THE POWER CONDUITS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 12. ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY, THE ELECTRIC UTILITY, AND THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA).
 13. SITE LIGHTING SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 14. POLES AND LUMINAIRES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 15. ALL CONDUIT SHALL BE 2" DIAMETER, SCHEDULE 40 P.V.C. WITH A MINIMUM COVER OF 24".
 16. ALL SWEEPS SHALL HAVE A MINIMUM RADIUS OF 24". NO ELBOWS SHALL BE PERMITTED.

Light Level Illuminance Statistics					
Symbol	Description	Avg	Max	Min	Max/Min
X	PROPERTY LINE	0.0 fc	0.3 fc	0.0 fc	N/A
+	SITE CALCULATIONS	0.2 fc	7.0 fc	0.0 fc	N/A
X	PARKING SPACES	0.7 fc	2.0 fc	0.1 fc	20:1
X	REAR YARD CALCULATIONS	0.4 fc	1.0 fc	0.0 fc	N/A

Schedule							
Symbol	Label	Catalog Number	QTY	Description	Number Lamps	Lumens per Lamp	LLF
	A	HLWPC2 P10 40K XX TFTM	1	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Forward Throw Medium	1	3209	0.9
	B	HLWPC2 P10 40K XX T2S	2	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type II Medium	1	3128	0.9
	C	ACC P151 R4 4K XXX HS	2	ACC P151 Performance package Roadway Type IV distribution 4000K CCT House Side Shield	1	1633	0.9



NO. DATE DESCRIPTION

PRELIMINARY & FINAL MAJOR SITE PLAN
2060 ROUTE 35 - PRESTIGE PLUMBING & HEATING, INC.
LIGHTING PLAN
BLOCK 422, LOT 8.01 - TAX MAP SHEET NO. 121
BOROUGH OF SAYREVILLE MIDDLESEX COUNTY, NEW JERSEY

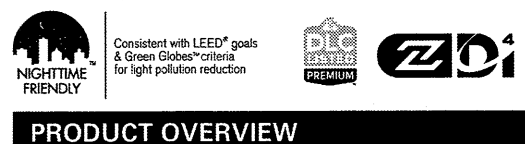
EAST POINT
ENGINEERING, LLC
NEW JERSEY CERTIFICATE OF
AUTHORIZATION NO. 248A28169800

11 South Main Street
Marlboro, NJ 07746
Tel: 732.577.0180

DATE: 05-16-24
SCALE: 1" = 20'
DATE: 05-16-24

PROJECT NUMBER: 23-345
CHECKED BY: BNP
SHEET NO. 6 OF 7

COPYRIGHT © 2024 EAST POINT ENGINEERING, LLC - ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF EAST POINT ENGINEERING, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EAST POINT ENGINEERING, LLC.



AutoConnect Series ACC Roadway Lighting

Features:

OPTICAL

AutoConnect utilizes the most advanced optical technology. Durable, precision optical control is obtained with new silicone materials that permit superior mold detail and denser LED population for a more visually comfortable appearance.

Silicone optics are superior to other polymer materials in the areas of optical efficiency, thermal performance, and reflection in direct illumination, all of which can lead to long term lumen degradation and a shift in optical distribution. Also, because silicone allows for the molding of fine details as well as thick sections, it produces the most crisp, clean and well-defined lighting distributions available.

Silicone optics paired with modern LEDs allow the AutoConnect to take full advantage of both technologies.

Lighting Performance is comparable to 50-150W HPS roadway luminaires.

Consistent color temperature - 4000K, or optional 2700K, 3000K or 5000K, all 70 CRI minimum.

Unique 166 rated LED light engines provided 6% uptime and restricts light to a wider sidewalk depth, providing optimal application coverage and optimal pole spacing.

Available in 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000, 1002, 1004, 1006, 1008, 1010, 1012, 1014, 1016, 1018, 1020, 1022, 1024, 1026, 1028, 1030, 1032, 1034, 1036, 1038, 1040, 1042, 1044, 1046, 1048, 1050, 1052, 1054, 1056, 1058, 1060, 1062, 1064, 1066, 1068, 1070, 1072, 1074, 1076, 1078, 1080, 1082, 1084, 1086, 1088, 1090, 1092, 1094, 1096, 1098, 1100, 1102, 1104, 1106, 1108, 1110, 1112, 1114, 1116, 1118, 1120, 1122, 1124, 1126, 1128, 1130, 1132, 1134, 1136, 1138, 1140, 1142, 1144, 1146, 1148, 1150, 1152, 1154, 1156, 1158, 1160, 1162, 1164, 1166, 1168, 1170, 1172, 1174, 1176, 1178, 1180, 1182, 1184, 1186, 1188, 1190, 1192, 1194, 1196, 1198, 1200, 1202, 1204, 1206, 1208, 1210, 1212, 1214, 1216, 1218, 1220, 1222, 1224, 1226, 1228, 1230, 1232, 1234, 1236, 1238, 1240, 1242, 1244, 1246, 1248, 1250, 1252, 1254, 1256, 1258, 1260, 1262, 1264, 1266, 1268, 1270, 1272, 1274, 1276, 1278, 1280, 1282, 1284, 1286, 1288, 1290, 1292, 1294, 1296, 1298, 1300, 1302, 1304, 1306, 1308, 1310, 1312, 1314, 1316, 1318, 1320, 1322, 1324, 1326, 1328, 1330, 1332, 1334, 1336, 1338, 1340, 1342, 1344, 1346, 1348, 1350, 1352, 1354, 1356, 1358, 1360, 1362, 1364, 1366, 1368, 1370, 1372, 1374, 1376, 1378, 1380, 1382, 1384, 1386, 1388, 1390, 1392, 1394, 1396, 1398, 1400, 1402, 1404, 1406, 1408, 1410, 1412, 1414, 1416, 1418, 1420, 1422, 1424, 1426, 1428, 1430, 1432, 1434, 1436, 1438, 1440, 1442, 1444, 1446, 1448, 1450, 1452, 1454, 1456, 1458, 1460, 1462, 1464, 1466, 1468, 1470, 1472, 1474, 1476, 1478, 1480, 1482, 1484, 1486, 1488, 1490, 1492, 1494, 1496, 1498, 1500, 1502, 1504, 1506, 1508, 1510, 1512, 1514, 1516, 1518, 1520, 1522, 1524, 1526, 1528, 1530, 1532, 1534, 1536, 1538, 1540, 1542, 1544, 1546, 1548, 1550, 1552, 1554, 1556, 1558, 1560, 1562, 1564, 1566, 1568, 1570, 1572, 1574, 1576, 1578, 1580, 1582, 1584, 1586, 1588, 1590, 1592, 1594, 1596, 1598, 1600, 1602, 1604, 1606, 1608, 1610, 1612, 1614, 1616, 1618, 1620, 1622, 1624, 1626, 1628, 1630, 1632, 1634, 1636, 1638, 1640, 1642, 1644, 1646, 1648, 1650, 1652, 1654, 1656, 1658, 1660, 1662, 1664, 1666, 1668, 1670, 1672, 1674, 1676, 1678, 1680, 1682, 1684, 1686, 1688, 1690, 1692, 1694, 1696, 1698, 1700, 1702, 1704, 1706, 1708, 1710, 1712, 1714, 1716, 1718, 1720, 1722, 1724, 1726, 1728, 1730, 1732, 1734, 1736, 1738, 1740, 1742, 1744, 1746, 1748, 1750, 1752, 1754, 1756, 1758, 1760, 1762, 1764, 1766, 1768, 1770, 1772, 1774, 1776, 1778, 1780, 1782, 1784, 1786, 1788, 1790, 1792, 1794, 1796, 1798, 1800, 1802, 1804, 1806, 1808, 1810, 1812, 1814, 1816, 1818, 1820, 1822, 1824, 1826, 1828, 1830, 1832, 1834, 1836, 1838, 1840, 1842, 1844, 1846, 1848, 1850, 1852, 1854, 1856, 1858, 1860, 1862, 1864, 1866, 1868, 1870, 1872, 1874, 1876, 1878, 1880, 1882, 1884, 1886, 1888, 1890, 1892, 1894, 1896, 1898, 1900, 1902, 1904, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1920, 1922, 1924, 1926, 1928, 1930, 1932, 1934, 1936, 1938, 1940, 1942, 1944, 1946, 1948, 1950, 1952, 1954, 1956, 1958, 1960, 1962, 1964, 1966, 1968, 1970, 1972, 1974, 1976, 1978, 1980, 1982, 1984, 1986, 1988, 1990, 1992, 1994, 1996, 1998, 2000, 2002, 2004, 2006, 2008, 2010, 2012, 2014, 2016, 2018, 2020, 2022, 2024, 2026, 2028, 2030, 2032, 2034, 2036, 2038, 2040, 2042, 2044, 2046, 2048, 2050, 2052, 2054, 2056, 2058, 2060, 2062, 2064, 2066, 2068, 2070, 2072, 2074, 2076, 2078, 2080, 2082, 2084, 2086, 2088, 2090, 2092, 2094, 2096, 2098, 2100, 2102, 2104, 2106, 2108, 2110, 2112, 2114, 2116, 2118, 2120, 2122, 2124, 2126, 2128, 2130, 2132, 2134, 2136, 2138, 2140, 2142, 2144, 2146, 2148, 2150, 2152, 2154, 2156, 2158, 2160, 2162, 2164, 2166, 2168, 2170, 2172, 2174, 2176, 2178, 2180, 2182, 2184, 2186, 2188, 2190, 2192, 2194, 2196, 2198, 2200, 2202, 2204, 2206, 2208, 2210, 2212, 2214, 2216, 2218, 2220, 2222, 2224, 2226, 2228, 2230, 2232, 2234, 2236, 2238, 2240, 2242, 2244, 2246, 2248, 2250, 2252, 2254, 2256, 2258, 2260, 2262, 2264, 2266, 2268, 2270, 2272, 2274, 2276, 2278, 2280, 2282, 2284, 2286, 2288, 2290, 2292, 2294, 2296, 2298, 2300, 2302, 2304, 2306, 2308, 2310, 2312, 2314, 2316, 2318, 2320, 2322, 2324, 2326, 2328, 2330, 2332, 2334, 2336, 2338, 2340, 2342, 2344, 2346, 2348, 2350, 2352, 2354, 2356, 2358, 2360, 2362, 2364, 2366, 2368, 2370, 2372, 2374, 2376, 2378, 2380, 2382, 2384, 2386, 2388, 2390, 2392, 2394, 2396, 2398, 2400, 2402, 2404, 2406, 2408, 2410, 2412, 2414, 2416, 2418, 2420, 2422, 2424, 2426, 2428, 2430, 2432, 2434, 2436, 2438, 2440, 2442, 2444, 2446, 2448, 2450, 2452, 2454, 2456, 2458, 2460, 2462, 2464, 2466, 2468, 2470, 2472, 2474, 2476, 2478, 2480, 2482, 2484, 2486, 2488, 2490, 2492, 2494, 2496, 2498, 2500, 2502, 2504, 2506, 2508, 2510, 2512, 2514, 2516, 2518, 2520, 2522, 2524, 2526, 2528, 2530, 2532, 2534, 2536, 2538, 2540, 2542, 2544, 2546, 2548, 2550, 2552, 2554, 2556, 2558, 2560, 2562, 2564, 2566, 2568, 2570, 2572, 2574, 2576, 2578, 2580, 2582, 2584, 2586, 2588, 2590, 2592, 2594, 2596, 2598, 2600, 2602, 2604, 2606, 2608, 2610, 2612, 2614, 2616, 2618, 2620, 2622, 2624, 2626, 2628, 2630, 2632, 2634, 2636, 2638, 2640, 2642, 2644, 2646, 2648, 2650, 2652, 2654, 2656, 2658, 2660, 2662, 2664, 2666, 2668, 2670, 2672, 2674, 2676, 2678, 2680, 2682, 2684, 2686, 2688, 2690, 2692, 2694, 2696, 2698, 2700, 2702, 2704, 2706, 2708, 2710, 2712, 2714, 2716, 2718, 2720, 2722, 2724, 2726, 2728, 2730, 2732, 2734, 2736, 2738, 2740, 2742, 2744, 2746, 2748, 2750, 2752, 2754, 2756, 2758, 2760, 2762, 2764, 2766, 2768, 2770, 2772, 2774, 2776, 2778, 2780, 2782, 2784, 2786, 2788, 2790, 2792, 2794, 2796, 2798, 2800, 2802, 2804, 2806, 2808, 2810, 2812, 2814, 2816, 2818, 2820, 2822, 2824, 2826, 2828, 2830, 2832, 2834, 2836, 2838, 2840, 2842, 2844, 2846, 2848, 2850, 2852, 2854, 2856, 2858, 2860, 2862, 2864, 2866, 2868, 2870, 2872, 2874, 2876, 2878, 2880, 2882, 2884, 2886, 2888, 2890, 2892, 2894, 2896, 2898, 2900, 2902, 2904, 2906, 2908, 2910, 2912, 2914, 2916, 2918, 2920, 2922, 2924, 2926, 2928, 2930, 2932, 2934, 2936, 2938, 2940, 2942, 2944, 2946, 2948, 2950, 2952, 2954, 2956, 2958, 2960, 2962, 2964, 2966, 2968, 2970, 2972, 2974, 2976, 2978, 2980, 2982, 2984, 2986, 2988, 2990, 2992, 2994, 2996, 2998, 3000, 3002, 3004, 3006, 3008, 3010, 3012, 3014, 3016, 3018, 3020, 3022, 3024, 3026, 3028, 3030, 3032, 3034, 3036, 3038, 3040, 3042, 3044, 3046, 3048, 3050, 3052, 3054, 3056, 3058, 3060, 3062, 3064, 3066, 3068, 3070, 3072, 3074, 3076, 3078, 3080, 3082, 3084, 3086, 3088, 3090, 3092, 3094, 3096, 3098, 3100, 3102, 3104, 3106, 3108, 3110, 3112, 3114, 3116, 3118, 3120, 3122, 3124, 3126, 3128, 3130, 3132, 3134, 3136, 3138, 3140, 3142, 3144, 3146, 3148, 3150, 3152, 3154, 3156, 3158, 3160, 3162, 3164, 3166, 3168, 3170, 3172, 3174, 3176, 3178, 3180, 3182, 3184, 3186, 3188, 3190, 3192, 3194, 3196, 3198, 3200, 3202, 3204, 3206, 3208, 3210, 3212, 3214, 3216, 3218, 3220, 3222, 3224, 3226, 3228, 3230, 3232, 3234, 3236, 3238, 3240, 3242, 3244, 3246, 3248, 3250, 3252, 3254, 3256, 3258, 3260, 3262, 3264, 3266, 3268, 3270, 3272, 3274, 3276, 3278, 3280, 3282, 3284, 3286, 3288, 3290, 3292, 3294, 3296, 3298, 3300, 3302, 3304, 3306, 3308, 3310, 3312, 3314, 3316, 3318, 3320, 3322, 3324, 3326, 3328, 3330, 3332, 3334, 3336, 3338, 3340, 3342, 3344, 3346, 3348, 3350, 3352, 3354, 3356, 3358, 3360, 3362, 3364, 3366, 3368, 3370, 3372, 3374, 3376, 3378, 3380, 3382, 3384, 3386, 3388, 3390, 3392, 3394, 3396, 3398, 3400, 3402, 3404, 3406, 3408, 3410, 3412, 3414, 3416, 3418, 3420, 3422, 3424, 3426, 3428, 3430, 3432, 3434, 3436, 3438, 3440, 3442, 3444, 3446, 3448, 3450, 3452, 3454, 3456, 3458, 3460, 3462, 3464, 3466, 3468, 3470, 3472, 3474, 3476, 3478, 3480, 3482, 3484, 3486, 3488, 3490, 3492, 3494, 3496, 3498, 3500, 3502, 3504, 3506, 3508, 3510, 3512, 3514, 3516, 3518, 3520, 3522, 3524, 3526, 3528, 3530, 3532, 3534, 3536, 3538, 3540, 3542, 3544, 3546, 3548, 3550, 3552, 3554, 3556, 3558, 3560, 3562, 3564, 3566, 3568, 3570, 3572, 3574, 3576, 3578, 3580, 3582, 3584, 3586, 3588, 3590, 3592, 3594, 3596, 3598, 3600, 3602, 3604, 3606, 3608, 3610, 3612, 3614, 3616, 3618, 3620, 3622, 3624, 3626, 3628, 3630, 3632, 3634, 3636, 3638, 3640, 3642, 3644, 3646, 3648, 3650, 3652, 3654, 3656, 3658, 3660, 3662, 3664, 3666, 3668, 3670, 3672, 3674, 3676, 3678, 3680, 3682, 3684, 3686, 3688, 3690, 3692, 3694, 3696, 3698, 3700, 3702, 3704, 3706, 3708, 3710, 3712, 3714, 3716, 3718, 3720, 3722, 3724, 3726, 3728, 3730, 3732, 3734, 3736, 3738, 3740, 3742, 3744, 3746, 3748, 3750, 3752, 3754, 3756, 3758, 3760, 3762, 3764, 3766, 3768, 3770, 3772, 3774, 3776, 3778, 3780, 3782, 3784, 3786, 3788, 3790, 3792, 3794, 3796, 3798, 3800, 3802, 3804, 3806, 3808, 3810, 3812, 3814, 3816, 3818, 3820, 3822, 3824, 3826, 3828, 3830, 3832, 3834, 3836, 3838, 3840, 3842, 3844, 3846, 3848, 3850, 3852, 3854, 3856, 3858, 3860, 3862, 3864, 3866, 3868, 3870, 3872, 3874, 3876, 3878, 3880, 3882, 3884, 3886, 3888, 3890, 3892, 3894, 3896, 3898, 3900, 3902, 3904, 3906, 3908, 3910, 3912, 3914, 3916, 3918, 3920, 3922, 3924, 3926, 3928, 3930, 3932, 3934, 3936, 3938, 3940, 3942, 3944, 3946, 3948, 3950, 3952, 3954, 3956, 3958, 3960, 3962, 3964, 3966, 3968, 3970, 3972, 3974, 3976, 3978, 3980, 3982, 3984, 3986, 3988, 3990, 3992, 3994, 3996, 3998, 4000, 4002, 4004, 4006, 4008, 4010, 4012, 4014, 4016, 4018, 4020, 4022, 4024, 4026, 4028, 4030, 4032, 4034, 4036, 4038, 4040, 4042, 4044, 4046, 4048, 4050, 4052, 4054, 4056, 4058, 4060, 4062, 4064, 4066, 4068, 4070, 4072, 4074, 4076, 4078, 4080, 4082, 4084, 4086, 4088, 4090, 4092, 4094, 4096, 4098, 4100, 4102, 4104, 4106, 4108, 4110, 4112, 4114, 4116, 4118, 4120, 4122, 4124, 4126, 4128, 4130, 4132, 4134, 4136, 4138, 4140, 4142, 4144, 4146, 4148, 4150, 4152, 4154, 4156, 4158, 4160, 4162, 416