

SAYREVILLE PROPERTY OWNERS WITHIN 200 FT.

BLOCK LOT	175 1	Paul A. DeSarno & Kimberly Klitzke-DeSarno 207 Washington Road Sayreville, NJ 08872	BLOCK LOT	181 3.01	Ghani Khan 450 Main Street Sayreville, NJ 08872
BLOCK LOT	175 2	Candace Przygda 445 Main Street Sayreville, NJ 08872	BLOCK LOT	181 3.02	Ronald & Rachel Jones, Jr. 448 Main Street Sayreville, NJ 08872
BLOCK LOT	175 3	Michael J. & Christine Fabiszewski 441 Main Street Sayreville, NJ 08872	BLOCK LOT	181 4	George C. Tarzonski 446 Main Street Sayreville, NJ 08872
BLOCK LOTS	175 4 & 5	Michael & Kathleen M. Dillon 437 Main Street Sayreville, NJ 08872	BLOCK LOT	181 5	Stephen Kalos 404 Cedar Street Sayreville, NJ 08872
BLOCK LOT	175 5.01	Cynthia Spadaro, Kathleen Dillon & Patrick Dunn 2347 Redwood Road South Plain, NJ 07076	BLOCK LOT	198 1	John A. & Lynn Kulikowski 456 Main Street Sayreville, NJ 08872
BLOCK LOT	175 6	Wilfredo Andujar & Elsa Andujar 431 Main Street Sayreville, NJ 08872	BLOCK LOT	198 4	Timothy Jason & Michael Jason 458 Main Street Sayreville, NJ 08872
BLOCK LOTS	175 7 & 8	Borough of Sayreville 167 Main Street Sayreville, NJ 08872	BLOCK LOT	198 5	Linda Reese 460 Main Street Sayreville, NJ 08872
BLOCK Proposed LOT	175 12.06	Sayreville Economic & Redevelopment Agency 167 Main Street Sayreville, NJ 08872	BLOCK LOT	198 6	Pedro & Michelle Coelho 462 Main Street Sayreville, NJ 08872
BLOCK LOT	175.01 2	Neptune Urban Renewal, LLC 501 King Highway East #100 Fairfield, CT 06825	BLOCK LOT	198 6.01	Lorone D. Biggs & Paulie Back 464 Main Street Sayreville, NJ 08872
BLOCK LOT	176 1	Edward J. & Michele M. Gordon 453 Main Street Sayreville, NJ 08872	BLOCK LOT	198 7	Jason & Katherine Roman 470 Main Street Sayreville, NJ 08872
BLOCK Proposed LOT	176 2.06	Sayreville Economic & Redevelopment Agency 167 Main Street Sayreville, NJ 08872	BLOCK LOT	198 8	Elizabeth Bucovici 472 Main Street Sayreville, NJ 08872
BLOCK LOT	176 8	Elizabeth Chionchio 457 Main Street Sayreville, NJ 08872	BLOCK LOT	198 9.01	Carlos & Maria Almeida 474 Main Street Sayreville, NJ 08872
BLOCK LOT	176 9	Jim & Cecylia Zajac 459 Main Street Sayreville, NJ 08872	BLOCK LOT	198 9.02	Smith T. & Fabiola D. Joseph 476 Main Street Sayreville, NJ 08872
BLOCK LOT	176 10	Curtis A. Bebban, Jr. 461 Main Street Sayreville, NJ 08872	BLOCK LOT	198 9.03	David Yuhaz 478 Main Street Sayreville, NJ 08872
BLOCK LOT	176 11	Robert Vastelich 463 Main Street Sayreville, NJ 08872	BLOCK LOT	198.01 1	Paul & Lori Iradi 4 Schmitt Street Sayreville, NJ 08872
BLOCK LOT	176 12	Alvin L. Zach 8 Lisa Court East Brunswick, NJ 08816	BLOCK LOT	198.01 2	Steven L. & Maria Jean Vince 498 Main Street Sayreville, NJ 08872
BLOCK LOT	176 13	Martin & Laura O'Neil 314 Wick Drive Sayreville, NJ 08872	BLOCK LOT	198.04 1	Janice M. Nakielny 1 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 8.01	Joseph & Michelle Ureges 208 Pulaski Avenue Sayreville, NJ 08872	BLOCK LOT	198.04 2	Judith A. Higgins 3 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 8.08	Vicente M. Vicenti 204 Pulaski Avenue Sayreville, NJ 08872	BLOCK LOT	198.04 3	William & Laverne Bauer 5 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 8.10	Joaquin & Rosa Pena and Ana Pena 4 Bright Street Sayreville, NJ 08872	BLOCK LOT	198.04 4	Konstantin M. & Diana L. Karaban 7 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 9	Louise Z. Grodzki c/o Mary Louise Knox 12 Sental Drive South River, NJ 08882	BLOCK LOT	198.04 5	Barbara Gronski (Estate) 9 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 10.01	Timothy Trigg & Ronald Sekman 7 Duxie Drive Parlin, NJ 08859	BLOCK LOT	198.04 6	Robert A. & Florence Lasko 11 Wick Drive Sayreville, NJ 08872
BLOCK LOT	180 11	Annette Cuniva 424 Main Street Sayreville, NJ 08872	RIGHT OF WAY & EASEMENT:		Jersey Central Power & Light Company Tax Department 800 Cabot Hill Drive Greensburg, PA 15601
BLOCK LOT	180 12.01	Ronald & Shant Bachan 428 Main Street Sayreville, NJ 08872	EASEMENT:		Borough of Sayreville 167 Main Street Sayreville, NJ 08872
BLOCK LOT	180 13	Michael J. Marano 432 Main Street Sayreville, NJ 08872	EASEMENT:		Consolidated Rail Corporation 3 Commercial Place Norfolk, VA 23510
BLOCK LOT	180 14	William Chadock 434 Main Street Sayreville, NJ 08859	EASEMENT:		Middlesex County Utilities Authority P.O. Box 189 Sayreville, NJ 08872
BLOCK LOT	180 15	Brian Balzano & Maria Balzano 436 Main Street Sayreville, NJ 08872			
BLOCK LOT	180 16	Sarah & Anthony Russo, Jr. 438 Main Street Sayreville, NJ 08872			
BLOCK LOT	180 17	Veronica Szaszowski 460 Main Street Sayreville, NJ 08872			
BLOCK LOT	181 1	Donna O'Loughlin 454 Main Street Sayreville, NJ 08872			
BLOCK LOT	181 2	Robert Sherman 452 Main Street Sayreville, NJ 08872			

INDEX OF SHEETS

SHT. No.	DESCRIPTION	LATEST REVISION
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4	DIMENSION PLAN	5/14/2020
5	PERMIT PLAN	5/14/2020
6	GRADING PLAN	5/14/2020
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8 - 10	PROFILES	5/14/2020
11	SOIL EROSION & SEDIMENT CONTROL PLAN	5/14/2020
12-13	SOIL EROSION & SEDIMENT CONTROL DETAILS	5/14/2020
14	SOIL MANAGEMENT AND PREPARATION PLAN	5/14/2020
15	LANDSCAPE PLAN	5/14/2020
16 - 17	TREE REMOVAL PLAN	5/14/2020
18	LIGHTING PLAN	5/14/2020
19	LANDSCAPE & LIGHTING DETAILS	5/14/2020
20 - 25	CONSTRUCTION DETAILS	5/14/2020

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DESCRIBED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

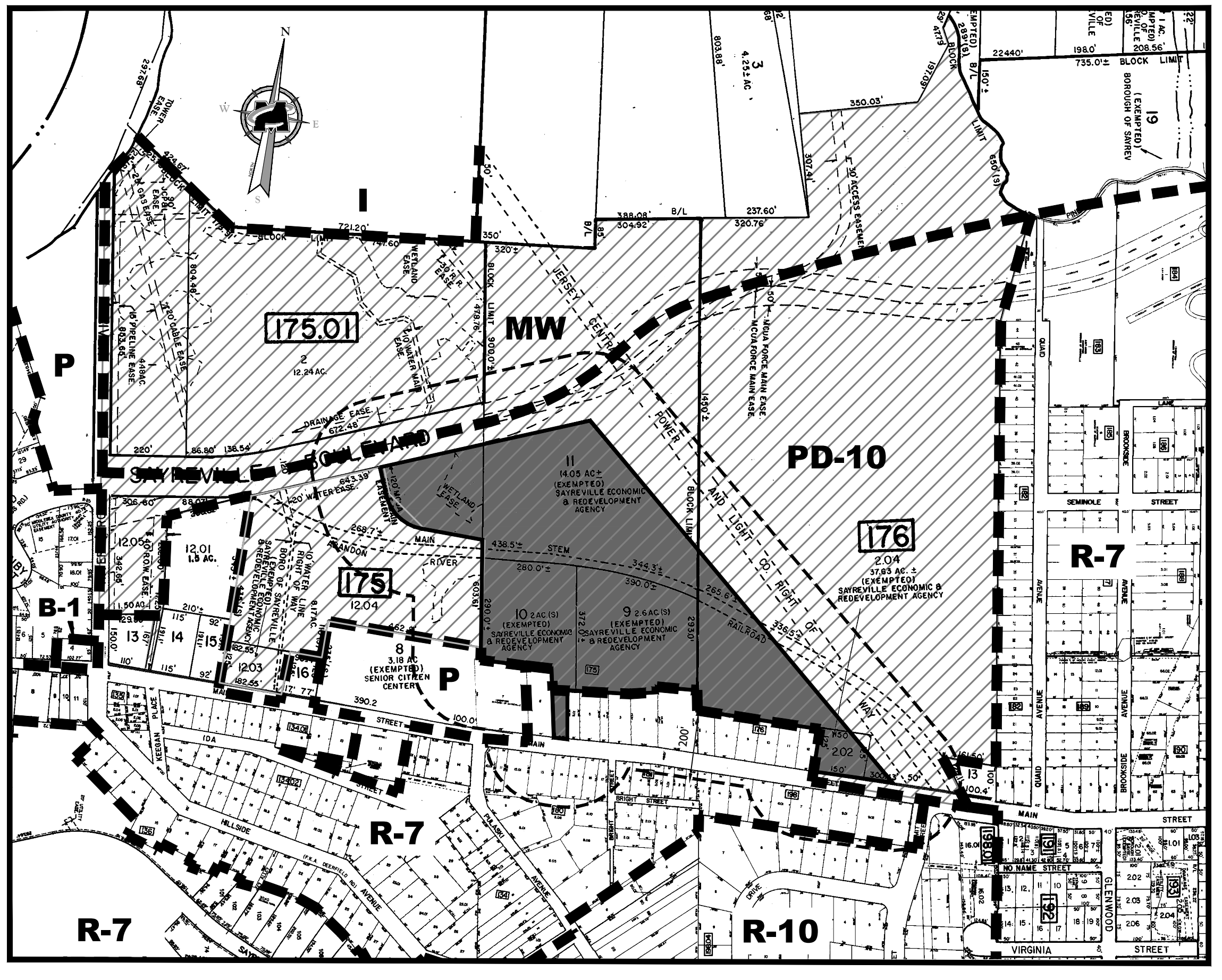
APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF "ENTER NAME" AT THE
REGULAR MEETING OF _____ DATE _____

CHAIRMAN _____ DATE _____

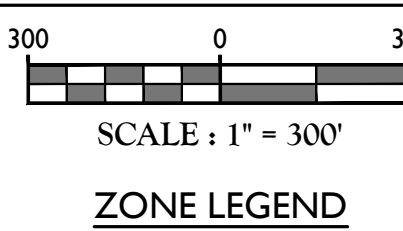
SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

AMENDED PRELIMINARY/FINAL SITE PLAN
FOR
THE PLACE AT SAYREVILLE
BLOCK 175, LOT 10.01
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY



KEY & ZONING MAP



- RIVER ROAD REDEVELOPMENT AREA
- B-1 NEIGHBORHOOD BUSINESS
- I INDUSTRIAL
- MW MARINE WATERFRONT
- P PRIME
- PD-10 PLANNED DEVELOPMENT 10,000 SF LOTS
- R-7 RESIDENTIAL 7,500 SF LOTS
- R-7 (PRD) RESIDENTIAL 7,500 SF LOTS (PLANNED RESIDENTIAL DEVELOPMENT)
- R-10 RESIDENTIAL 10,000 SF LOTS



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GENERAL NOTES

- THE SUBJECT PROPERTY IS KNOWN AS LOT 10.01, BLOCK 175 AND AS SHOWN ON SHEET OF THE OFFICIAL TAX MAP OF THE BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY.
 - THE PROPERTY IS LOCATED IN THE AFFORDABLE HOUSING DISTRICT OF THE RIVER ROAD REDEVELOPMENT PLAN AND CONTAINS A TOTAL TRACT AREA OF 598.37 ± / 13.75 ACRES.
 - OWNER: SAYREVILLE ECONOMIC & REDEVELOPMENT AGENCY
147 MAIN STREET
SAYREVILLE, NEW JERSEY 08872
732-390-7010
APPLICANT: THE PLACE AT SAYREVILLE, LLC CO. COMPANY
INVESTMENT STRATEGIES, INC. (C/O)
1978 BRUNSWICK AVENUE, SUITE 100,
LAURENCEVILLE, NJ 08848
609-298-2229
 - THE SUBJECT PROPERTY IS PRESENTLY VACANT. THE APPLICANT PROPOSES TO CONSTRUCT 89 RESIDENTIAL UNITS THAT INCLUDE AFFORDABLE HOUSING UNITS AND ONE SUPERINTENDENT'S UNIT. A CLUBHOUSE WITH A COMMUNITY ROOM AND MANAGEMENT OFFICE WITH ASSOCIATED PARKING AND AMENITIES.
 - ZONE DATA: ASSOCIATED HOUSING DISTRICT - RIVER ROAD REDEVELOPMENT
 - MINIMUM LOT SIZE: 5.0 AC. REQUIRED: 13.75 AC.
 - PRINCIPAL BUILDING: MINIMUM SETBACKS FROM ANY EXISTING PROPERTY LINE: 50 FT. MAXIMUM BUILDING HEIGHT (STORIES): 3. MAXIMUM GROSS SITE DENSITY: 100 DWELLINGS. MAXIMUM BUILDING COVERAGE: 25%. MAXIMUM IMPERVIOUS COVERAGE: 65%. LANDSCAPE BUFFER: 50 FT. LANDSCAPE BUFFER: 36 FT. PARKING (SPACES) PER UNIT: 1 BEDROOM (11 UNITS X 1.8 SPACES) = 19.8, 2 BEDROOM (50 UNITS X 2.0 SPACES) = 100, 3 BEDROOM (28 UNITS X 2.1 SPACES) = 58.8, TOTAL = 178.6.
 - THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS MAY BE REQUIRED FROM THE FOLLOWING ORDINANCES SECTIONS IF DETERMINED BY:
 - (i) RIVER ROAD REDEVELOPMENT PLAN AMENDMENT (BULK STANDARDS PG. 14) 50 FOOT LANDSCAPE BUFFER SUBJECT TO RESIDENTIAL LAND USE AND RESIDENTIAL ZONES.
 - (ii) RIVER ROAD REDEVELOPMENT PLAN AMENDMENT (OPEN SPACE AND LIGHTING ITEM 10) 50 FOOT LANDSCAPE BUFFER SUBJECT TO RESIDENTIAL LAND USE AND RESIDENTIAL ZONES.
 - (iii) BOROUGHS ORDINANCE 26-98 L. 1 - SHADE TREE FOR EVERY 200 PARKING SPACES WITHIN THE PARKING LOTS.
 - (iv) BOROUGHS ORDINANCE 26-98 L. 2 - SHADE TREES REQUIRED (1.75 TREES REQUIRED).
 - (v) BOROUGHS ORDINANCE 26-98 L. 3 - ORDINANCE REVISIONS.
 - BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM THE FOLLOWING:
 - A. "ALTAIRPS LAND TITLE SURVEY FOR BLOCK 175, NEW LOT 10.01, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY," DATED JULY 16, 2019, PREPARED BY ERIC V. WILDE GS 4178, STATE OF NEW JERSEY, OF MASER CONSULTING, P.A.
 - B. "HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988."
 - C. "NEW JERSEY STATE PLANE COORDINATE SYSTEM (NJSPCS) WAS ESTABLISHED AT THE PROJECT SITE BASED ON GPS OBSERVATIONS."
 - THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE TAKEN FROM A PLAN ENTITLED "WETLANDS LOCATION PLAN FOR BLOCK 175 NEW LOTS 10.01 AND 13.01 PREPARED BY MASER CONSULTING, P.A. DATED JANUARY 31, 2020. LAST REVISED FEBRUARY 20, 2020 AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A LETTER OF INTERPRETATION (FILE NO. 1219-16-00032 PFW19000) DATED FEBRUARY 24, 2020.
 - FLOOD HAZARD LIMITS SHOWN HEREON WERE TAKEN FROM A PLAN ENTITLED "FLOOD HAZARD VERIFICATION PLAN FOR RIVER ROAD REDEVELOPMENT, LOTS 1, 11 & 12B BLOCK 175, LOTS 3.01 & 3.0A BLOCK 176, BOROUGH OF SAYREVILLE, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY MASER CONSULTING, P.A. DATED FEBRUARY 21, 2019. LAST REVISED MAY 9, 2019 AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FLOOD HAZARD AREA VERIFICATION (FILE NO. 1219-16-00032 FHA 19000) DATED JUNE 27, 2019.
 - GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN HEREON TAKEN FROM A REPORT ENTITLED "REPORT OF SUBSURFACE EXPLORATION AND INVESTIGATION EVALUATION," DATED: MAY 3, 2019 PREPARED BY MASER CONSULTING, P.A.
 - THIS SET OF PLANS IS NOT DEPECTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERGROUND PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
 - THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
 - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
 - THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION." THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
 - PROVIDE TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARK-OUT.
 - THE SUBJECT SITE WILL COMPLY WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (NJ.A.C. 52:13) WITH THE EXCEPTION OF THE FOLLOWING:
 - * 521-4.5 - SIDEWALK SHALL BE PROVIDED ALONG BOTH SIDES OF THE STREET ON RESIDENTIAL ACCESS STREETS IN HIGH INTENSITY DEVELOPMENTS.
 - THERE WILL BE A FUTURE RIGHT OF WAY DEDICATION FOR THE EXTENSION OF SAYREVILLE BOULEVARD THROUGH PROPOSED BLOCK 175, LOT 2.06.
 - SITE NOTES:
 - 1. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
 - 2. CURBS SHALL BE DEPRESSIONED FLUSH WITH PAVEMENT, AND HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
 - 3. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - 4. REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS.
 - 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
 - THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DESTRUCTIVE MATERIALS.
 - MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. RESIDENTIAL SITE IMPROVEMENT STANDARDS (NJ.A.C. 52:13).
 - B. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," 2007 AS SUPPLEMENTED.
 - C. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - D. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - E. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PIT'S SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER-SOBS PROFESSIONAL, IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THAT OF THOSE REPRESENTED HEREON, SUCH CONDITIONS COULD BE THE RESULT OF THE DESIGN HEREON BEING INAPPROPRIATE OR IMPERFECT.
 - UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REWORKING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
 - STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH 2" RING GASKETS OR INTERNALLY REINFORCED GALV. (TPOX) SUPPERSOL OR EQUIVALENT. ADD 1/2" HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
 - CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 - WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN ON SAYREVILLE BOULEVARD AND MAIN STREET, OWNED AND OPERATED BY THE BOROUGH OF SAYREVILLE WATER DEPARTMENT. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. PIPE MATERIALS SHALL BE PVC 50-16 INCHES AS NOTED OTHERWISE ON THE PLANS EXCEPT WHERE SHOWN OTHERWISE. DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO EXISTING GRADE.
 - SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO THE EXISTING SEWER MAIN ON SAYREVILLE BOULEVARD, OWNED AND OPERATED BY THE BOROUGH OF SAYREVILLE SEWER DEPARTMENT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. PIPE MATERIALS SHALL BE PVC 50-16 INCHES AS NOTED OTHERWISE ON THE PLANS EXCEPT WHERE SHOWN OTHERWISE. DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO EXISTING GRADE.
 - ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION FORWARDED APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION).
 - AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT. IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER-TIGHT CONSTRUCTION THAT IS CASTLE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS, WITH WATER-TIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN CONSTRUCTION. WATER TRANSITION COUPLING, POWER SEAL MODEL #9301-OR EQUIVALENT AT DIPPY JOINTS.
 - GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
 - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
 - THIS PROJECT WILL COMPLY WITH NFPA 118 (STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN LOW-RISE RESIDENTIAL OCCUPANCIES).
 - THE CONTRACTOR MUST PROVIDE STRUCTURAL CALCULATIONS FOR ANY OVERSIZED DRAINAGE STRUCTURES AND CULVERT CONTROL STRUCTURES PRIOR TO CONSTRUCTION.
- ADA INSTRUCTIONS TO CONTRACTOR:
 1. CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTION, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, RESTROOM ACCESS, INTR-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 A. PARKING SPACES AND PARKING AGILES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.
 B. CURB RAMP'S - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
 C. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1/4" (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.
 D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THE MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:50 (2.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1/4" (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE.
 E. WALKWAY PATH OF TRAVEL WILL BE GREATER THAN 120 INCH, AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILES AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1/4" (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.
 F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1/4" (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 40 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.
 THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

DANIEL SOBIESKI
Corporate Headquarters
331 Newtown Springs Road
Suite 203
Newtown, NJ 07071
Phone: 732.383.1950
Fax: 732.383.1984
REGISTERED PROFESSIONAL ENGINEER - LICENSE NUMBER: G651919

AMENDED PRELIMINARY/FINAL SITE PLAN
FOR
THE PLACE AT SAYREVILLE
BLOCK 175, BLOCK 10.01
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY
NEW JERSEY

RED BANK OFFICE
Corporate Headquarters
331 Newtown Springs Road
Suite 203
Newtown, NJ 07071
Phone: 732.383.1950
Fax: 732.383.1984

SCALE: AS SHOWN DATE: 4/24/2020 DRAWN BY: C-VRV CHECKED BY: DSS
PROJECT NUMBER: 0006061C DRAWING NAME: C-COVER SHEET

SHEET TITLE: COVER SHEET
SHEET NUMBER: 1 of 25

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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REV	DATE	DESCRIPTION

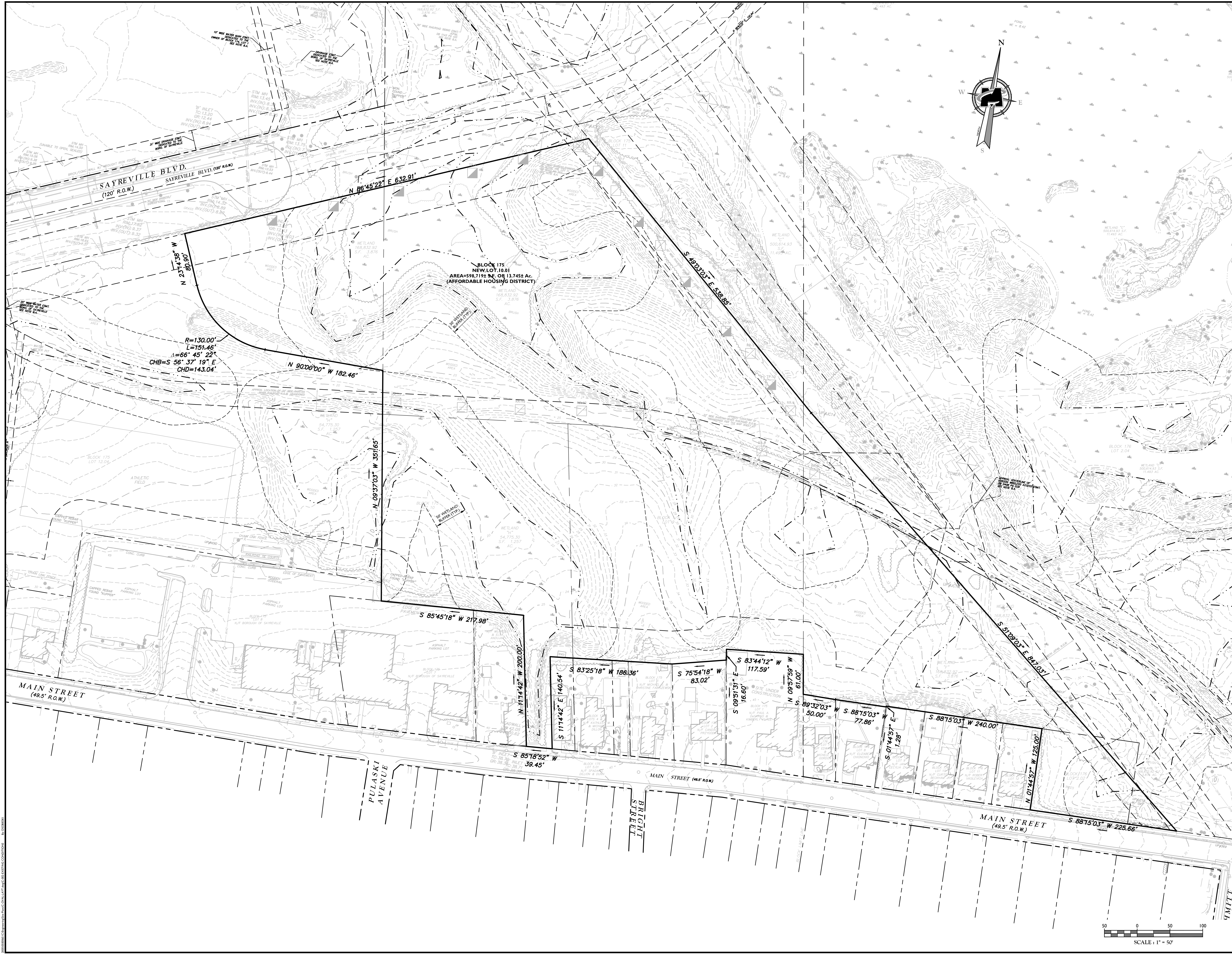
Dan Sobieski
DANIEL SOBIESKI
 ENGINEER - LICENSE NUMBER: GE55019

AMENDED
 PRELIMINARY/FINAL
 SITE PLAN
 FOR
**THE PLACE AT
 SAYREVILLE**
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
 311 Newman Springs Road
 Suite 203
 Red Bank, NJ 07701
 Phone: 732.383.1950
 Fax: 732.383.1984

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER:	000061C	DRAWING NAME:	C-OVAL-LAYT

SHEET TITLE:
**EXISTING
 CONDITIONS PLAN**



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

Dan Sobieski
DANIEL SOBIESKI
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE55019

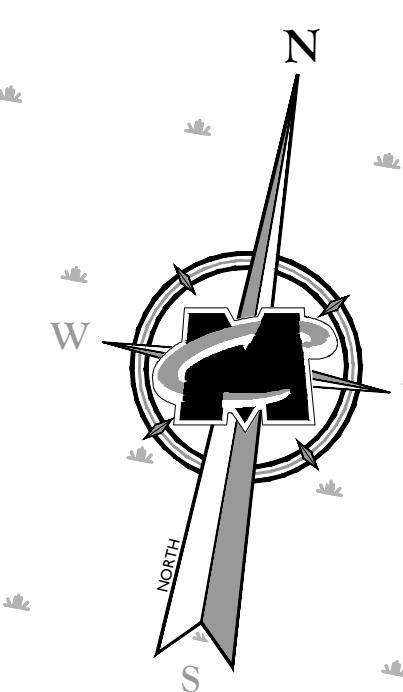
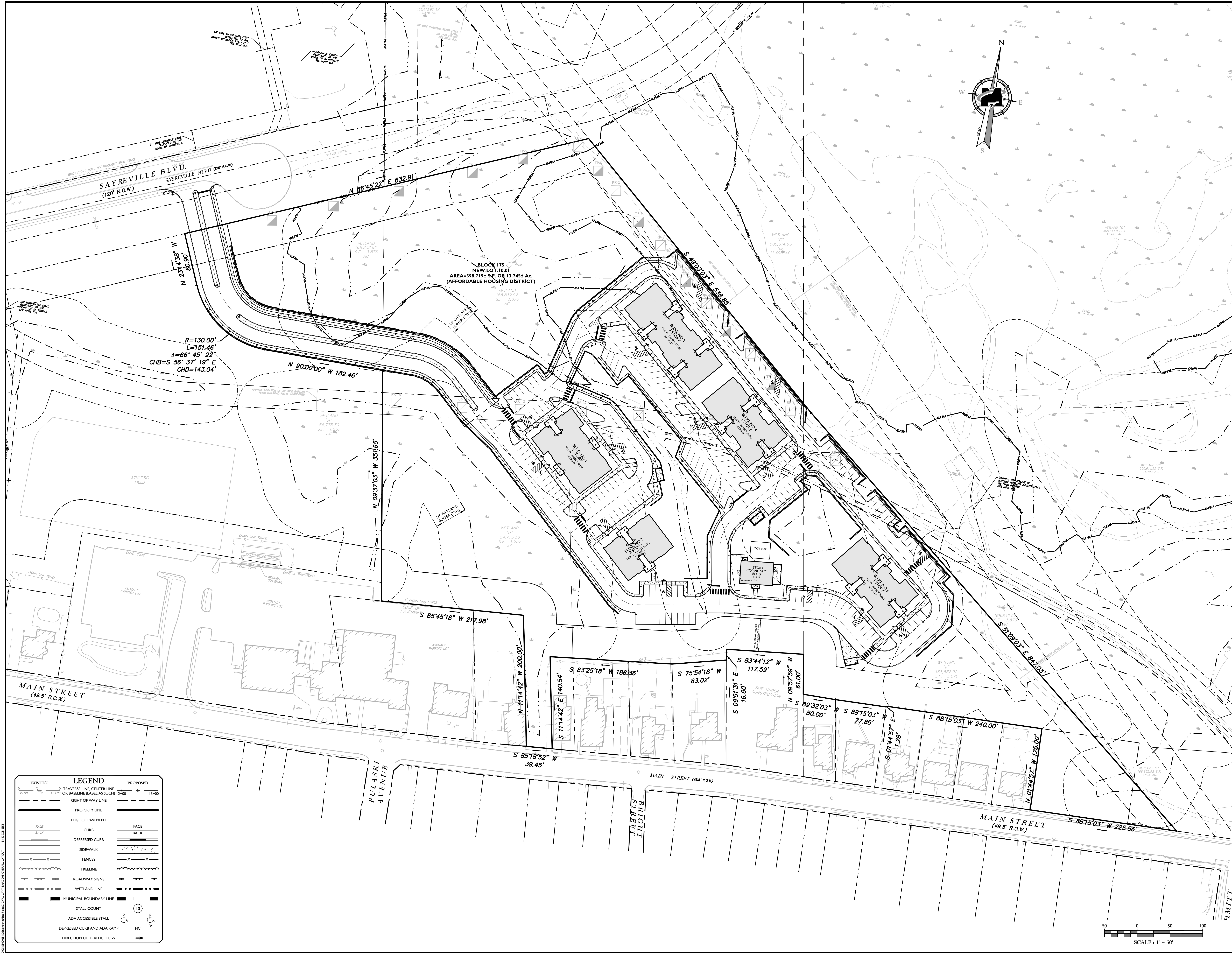
AMENDED
 PRELIMINARY/FINAL
 SITE PLAN
 FOR
**THE PLACE AT
 SAYREVILLE**
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER:	0000661C	DRAWING NAME:	C-OVAL-LAYT

SHEET TITLE:
OVERALL DIMENSION PLAN
 SHEET NUMBER:
3 of 25

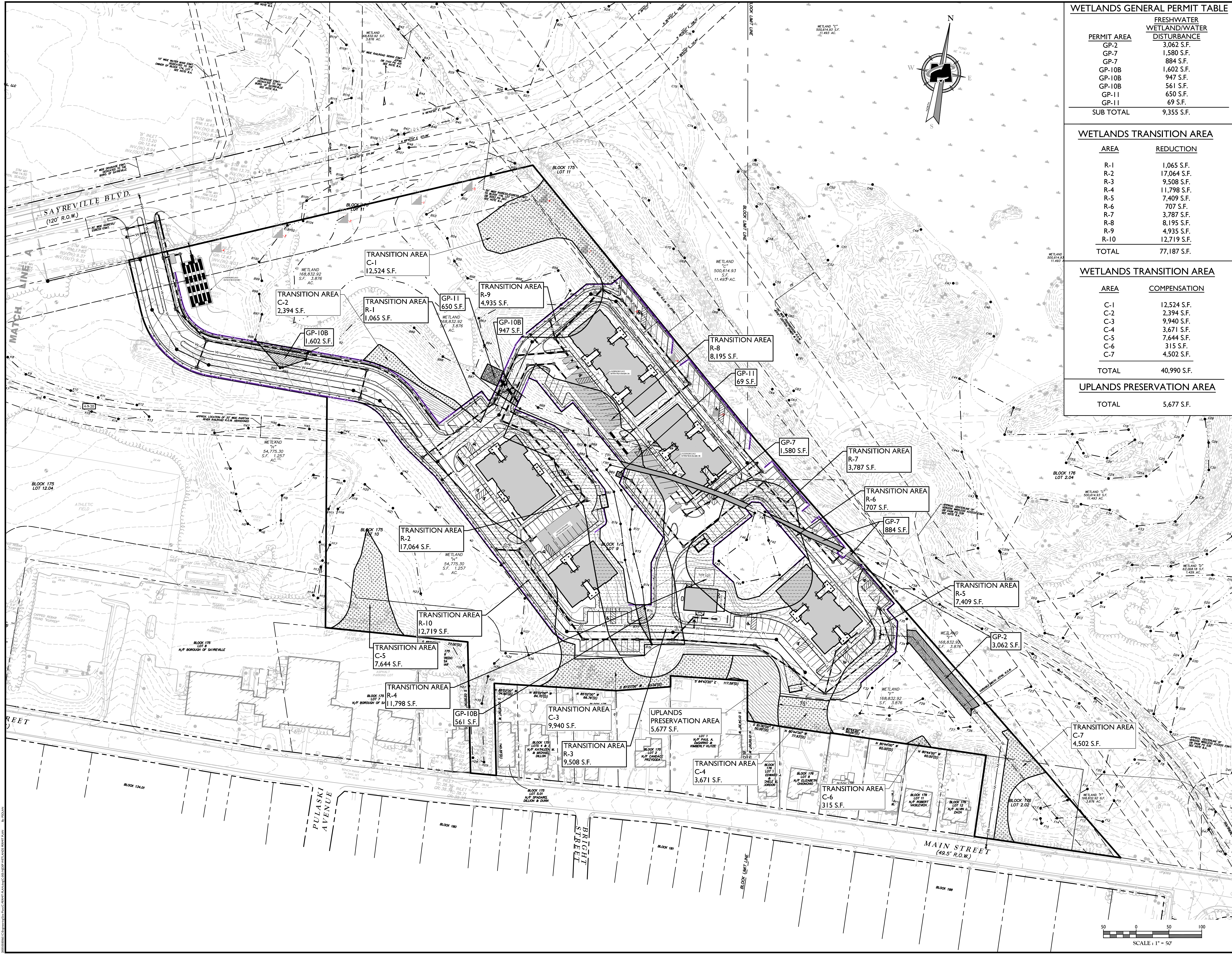
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LEGEND

EXISTING	PROPOSED
	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
	RIGHT OF WAY LINE
	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB
	DEPRESSED CURB
	SIDEWALK
	FENCES
	TREELINE
	ROADWAY SIGNS
	WETLAND LINE
	MUNICIPAL BOUNDARY LINE
	STALL
	ADA ACCESSIBLE STALL
	DEPRESSED CURB AND ADA RAMP
	DIRECTION OF TRAFFIC FLOW





WETLANDS GENERAL PERMIT TABLE

PERMIT AREA	FRESHWATER WETLAND/WATER DISTURBANCE
GP-2	3,062 S.F.
GP-7	1,580 S.F.
GP-7	884 S.F.
GP-10B	1,602 S.F.
GP-10B	947 S.F.
GP-10B	561 S.F.
GP-11	650 S.F.
GP-11	69 S.F.
SUB TOTAL	9,355 S.F.

WETLANDS TRANSITION AREA

AREA	REDUCTION
R-1	1,065 S.F.
R-2	17,064 S.F.
R-3	9,508 S.F.
R-4	11,798 S.F.
R-5	7,409 S.F.
R-6	707 S.F.
R-7	3,787 S.F.
R-8	8,195 S.F.
R-9	4,935 S.F.
R-10	12,719 S.F.
TOTAL	77,187 S.F.

WETLANDS TRANSITION AREA

AREA	COMPENSATION
C-1	12,524 S.F.
C-2	2,394 S.F.
C-3	9,940 S.F.
C-4	3,671 S.F.
C-5	7,644 S.F.
C-6	315 S.F.
C-7	4,502 S.F.
TOTAL	40,990 S.F.

UPLANDS PRESERVATION AREA

TOTAL	5,677 S.F.
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State of N.J. C.O.A.: 24GA27986500

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DATE	REVISION	DESCRIPTION

DATE	REVISION	DESCRIPTION

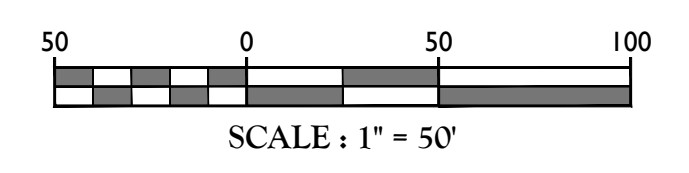
Daniel Sobieski
DANIEL SOBIESKI
 JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE55019

AMENDED PRELIMINARY/FINAL SITE PLAN
 FOR
THE PLACE AT SAYREVILLE
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER:	6000061C	DRAWING NAME:	C-PERMIT PLAN

NJDEP WETLANDS PERMIT PLAN



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REV	DATE	DRAWN BY	DESCRIPTION
1	5/14/20	DSS	ISSUED FOR PERMITS

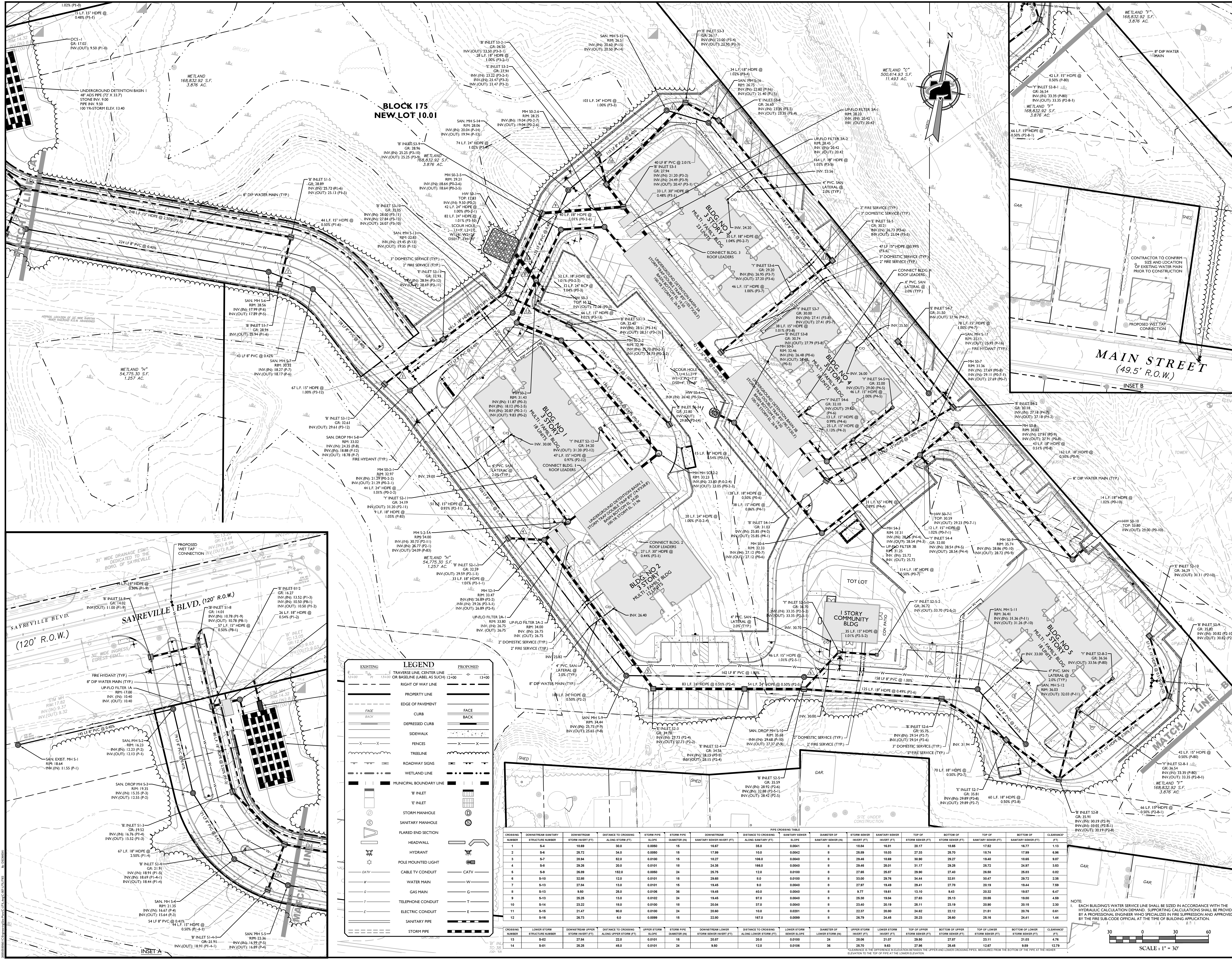
Dan Sobieski
 DANIEL SOBIESKI
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: G655019

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE

BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
 331 Newtown Spring Road
 Suite 203
 Red Bank, NJ 07070
 Phone: 732.383.1950
 Fax: 732.383.1984

SCALE: 1" = 30'
 SHEET TITLE: UTILITIES PLAN
 SHEET NUMBER: 7 of 25



LEGEND

EXISTING	PROPOSED
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12:00 13:00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12:00 13:00
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
DEPRESSED CURB	DEPRESSED CURB
SIDEWALK	SIDEWALK
FENCES	FENCES
TREELINE	TREELINE
ROADWAY SIGNS	ROADWAY SIGNS
WETLAND LINE	WETLAND LINE
MUNICIPAL BOUNDARY LINE	MUNICIPAL BOUNDARY LINE
'B' INLET	'B' INLET
'E' INLET	'E' INLET
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
FLARED END SECTION	FLARED END SECTION
HEADWALL	HEADWALL
HYDRANT	HYDRANT
POLE MOUNTED LIGHT	POLE MOUNTED LIGHT
CABLE TV CONDUIT	CABLE TV CONDUIT
WATER MAIN	WATER MAIN
GAS MAIN	GAS MAIN
TELEPHONE CONDUIT	TELEPHONE CONDUIT
ELECTRIC CONDUIT	ELECTRIC CONDUIT
SANITARY PIPE	SANITARY PIPE
STORM PIPE	STORM PIPE

PIPE CROSSING TABLE

CROSSING NUMBER	DOWNSTREAM SANITARY STRUCTURE NUMBER	DOWNSTREAM STORM STRUCTURE NUMBER	DISTANCE TO CROSSING ALONG UPPER STORM (FT)	STORM PIPE DIAMETER (IN)	STORM PIPE SLOPE	DOWNSTREAM SANITARY STRUCTURE NUMBER	DOWNSTREAM STORM STRUCTURE NUMBER	DISTANCE TO CROSSING ALONG SANITARY (FT)	SANITARY PIPE DIAMETER (IN)	SANITARY PIPE SLOPE	TOP OF		BOTTOM OF		CLEARANCE (FT)
											STORM SEWER (FT)	SANITARY SEWER (FT)	STORM SEWER (FT)	SANITARY SEWER (FT)	
1	5-4	2672	34.0	0.0050	15	18.6	16.1	29.17	18.6	0.0042	26.73	26.70	17.99	6.96	
2	5-7	28.84	62.0	0.0100	15	18.27	106.0	0.0040	8	29.46	18.69	30.80	29.27	18.66	8.87
3	5-8	28.26	20.0	0.0101	18	24.35	166.0	0.0040	8	29.46	25.01	31.17	29.25	26.72	3.53
4	5-8	28.89	152.0	0.0050	24	25.75	12.0	0.0100	8	27.65	25.87	29.80	27.40	26.88	2.83
5	5-10	32.88	120.0	0.0101	24	29.68	8.0	0.0100	8	33.00	29.76	34.44	32.81	28.72	2.82
6	5-13	27.84	130.0	0.0101	15	19.45	9.0	0.0040	8	27.97	19.49	29.13	27.79	20.19	7.89
7	5-13	18.60	26.0	0.0100	36	19.45	4.0	0.0041	8	30.77	19.81	13.10	18.42	20.32	6.47
8	5-13	25.25	26.0	0.0102	24	19.45	9.0	0.0040	8	26.38	19.84	27.62	25.15	20.66	4.98
9	5-14	23.22	18.0	0.0100	18	20.04	37.0	0.0040	8	23.40	20.19	26.11	23.19	20.80	2.31
10	5-15	21.47	80.0	0.0100	24	20.60	10.0	0.0201	8	22.37	20.80	26.22	22.12	21.61	0.60
11	5-16	28.73	6.0	0.0099	15	22.80	167.0	0.0099	8	26.19	24.45	28.23	26.60	24.41	1.44

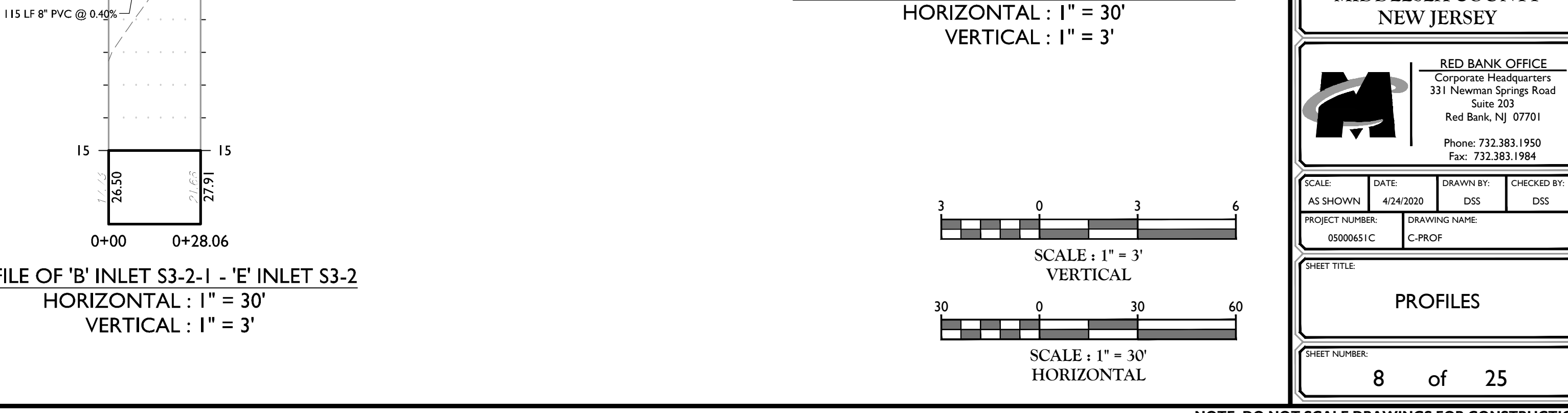
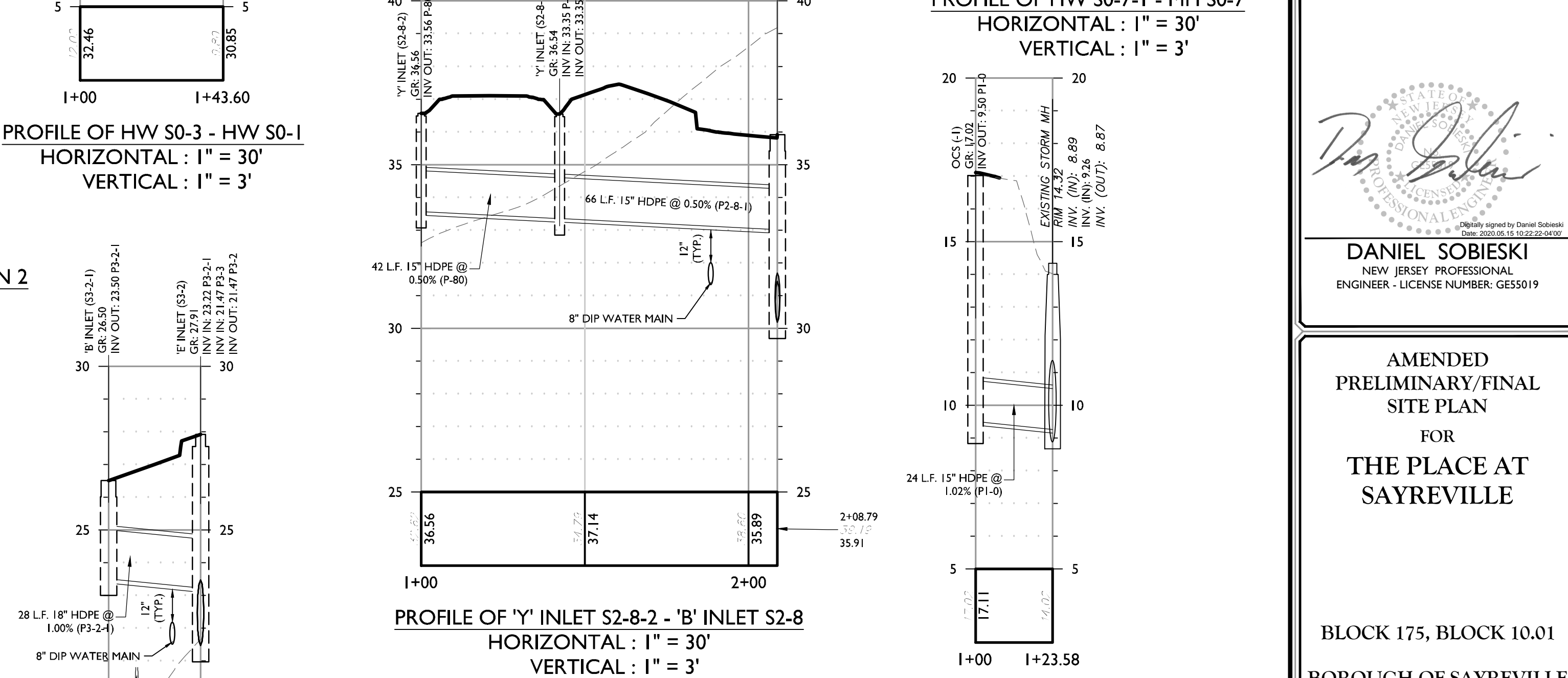
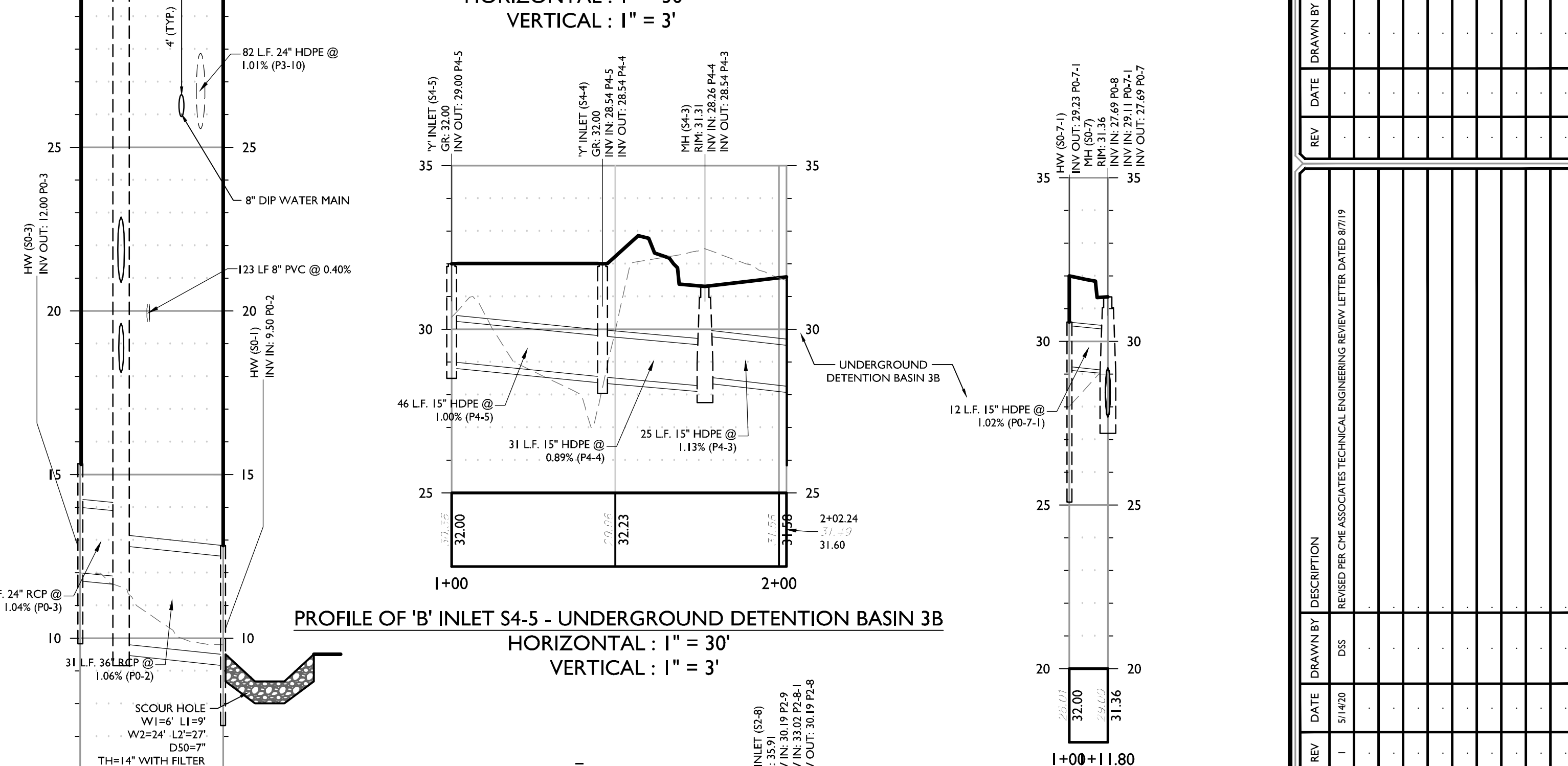
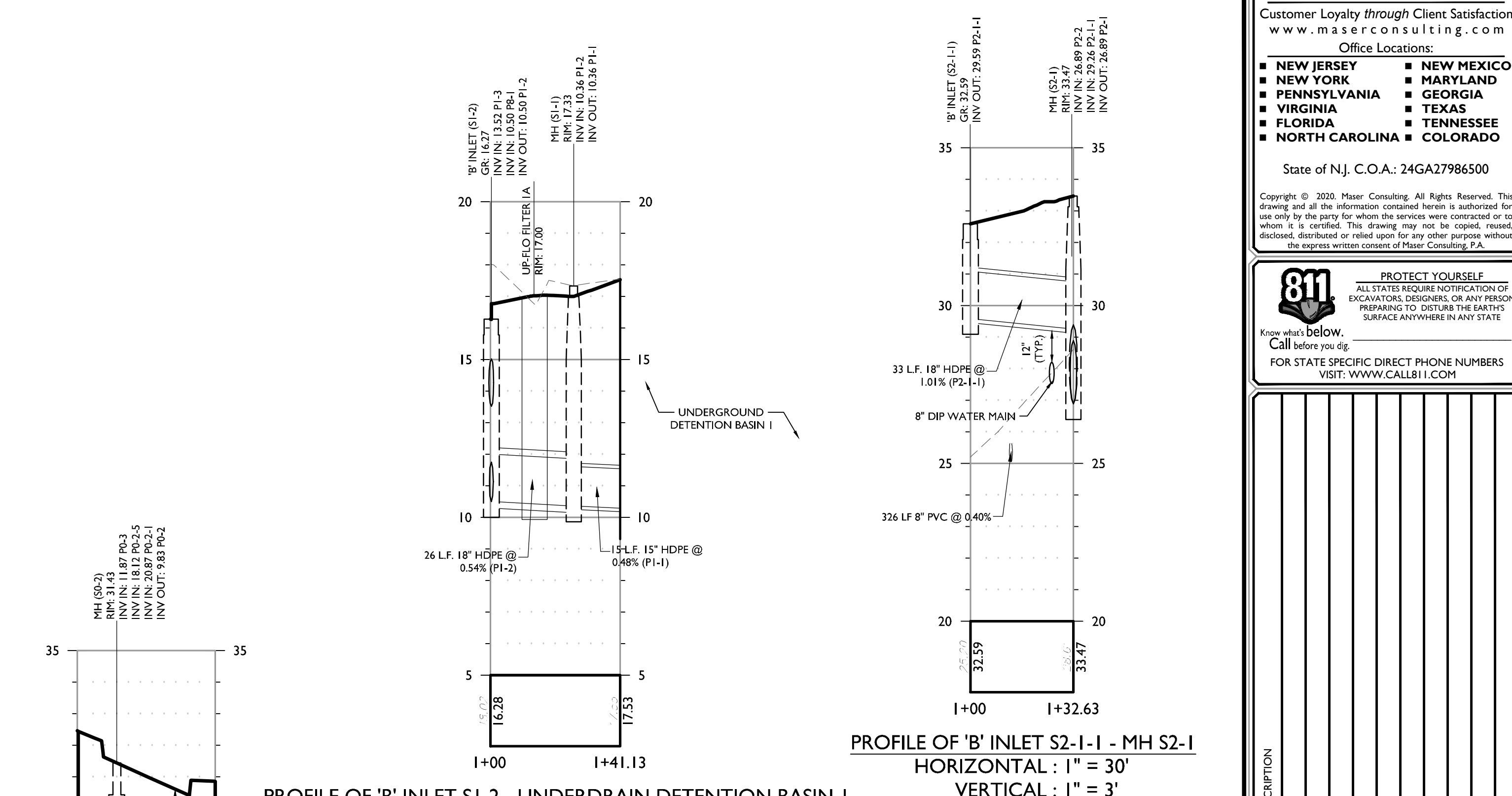
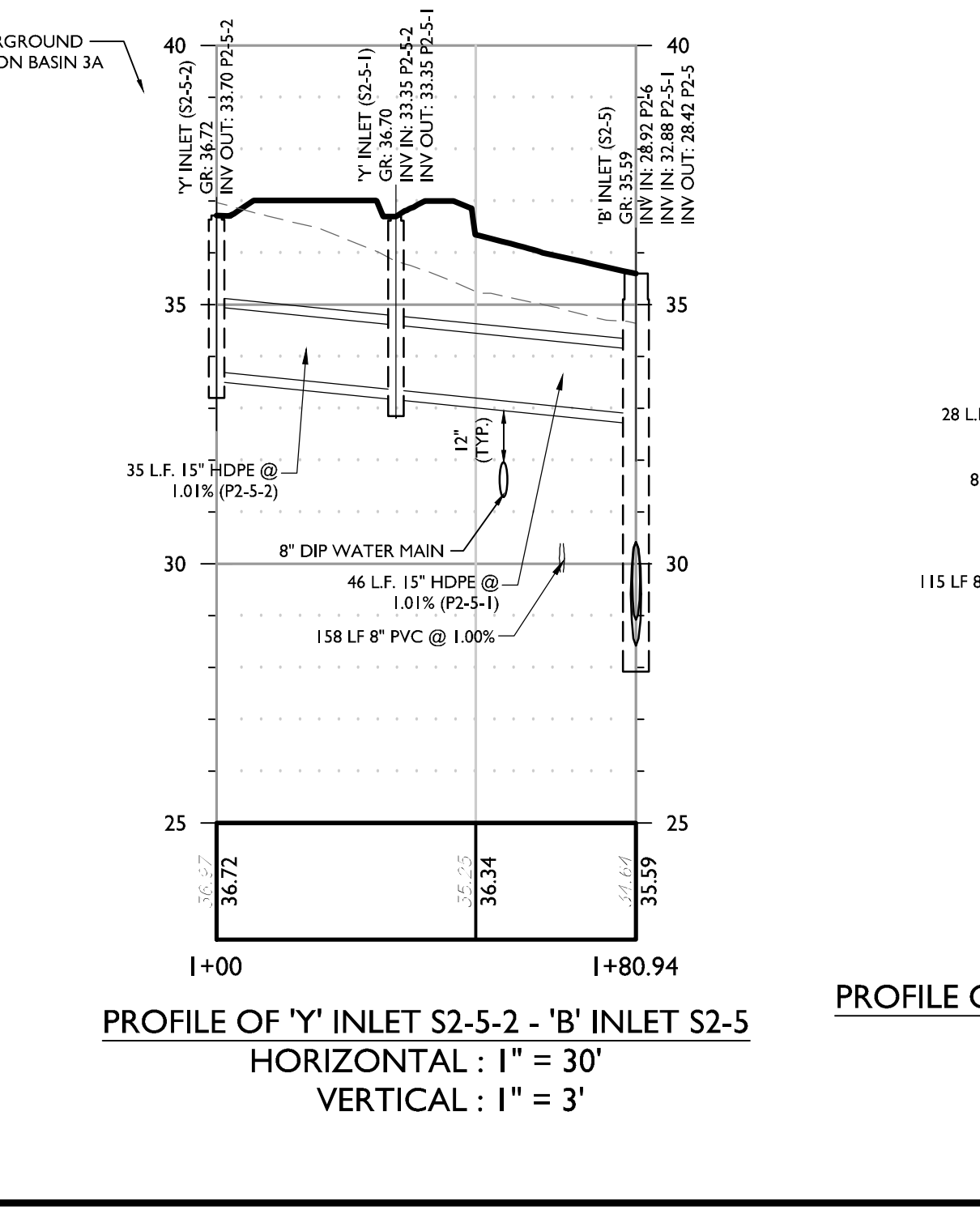
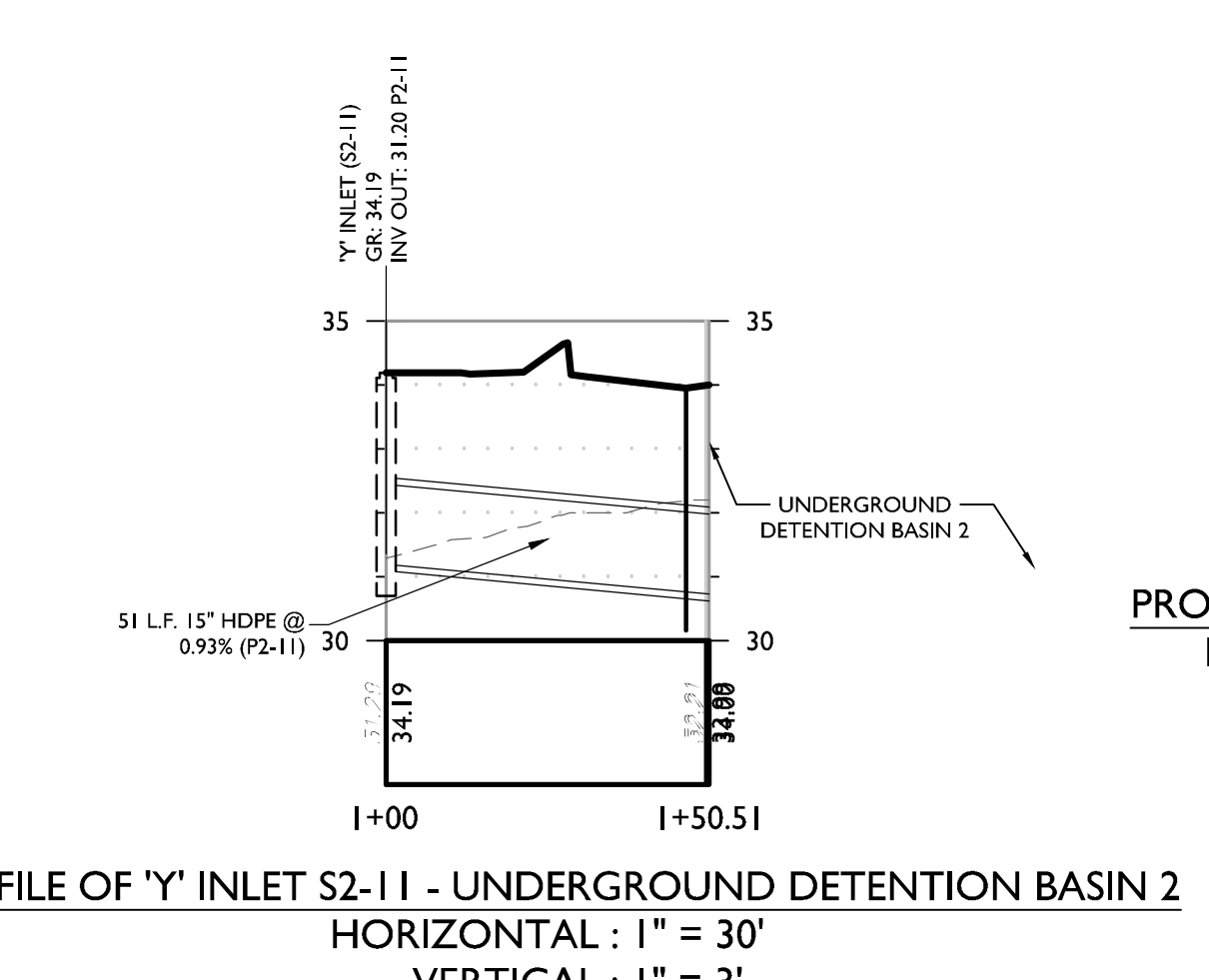
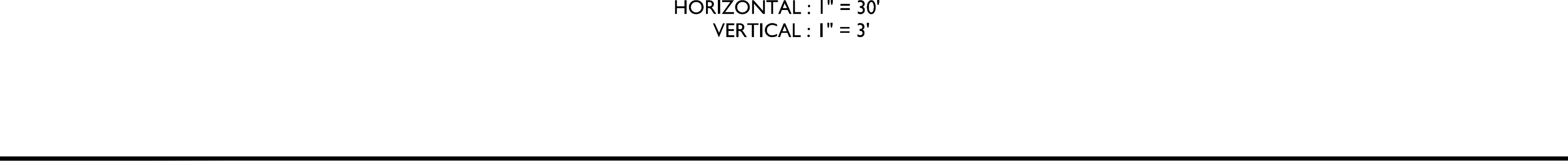
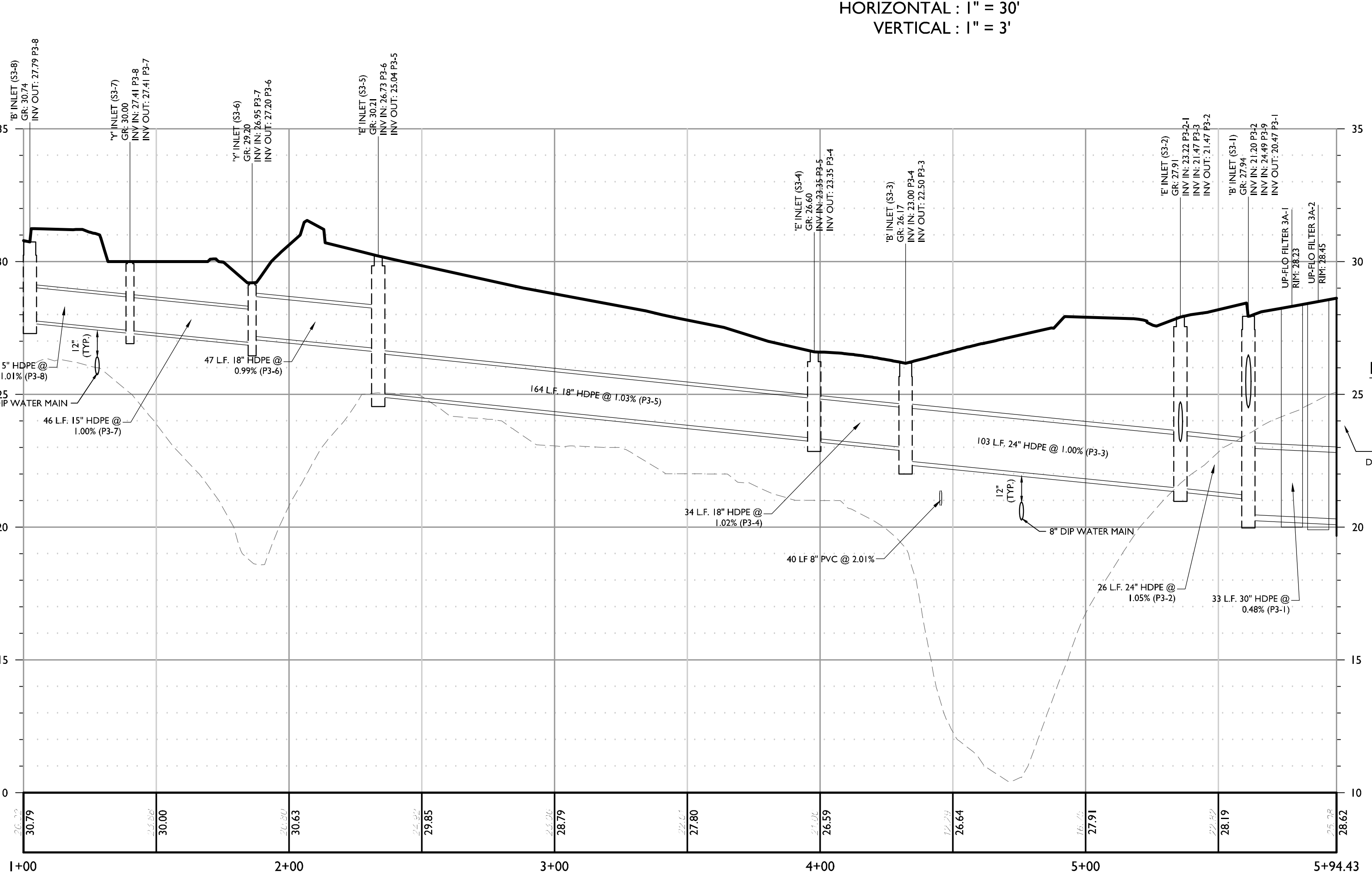
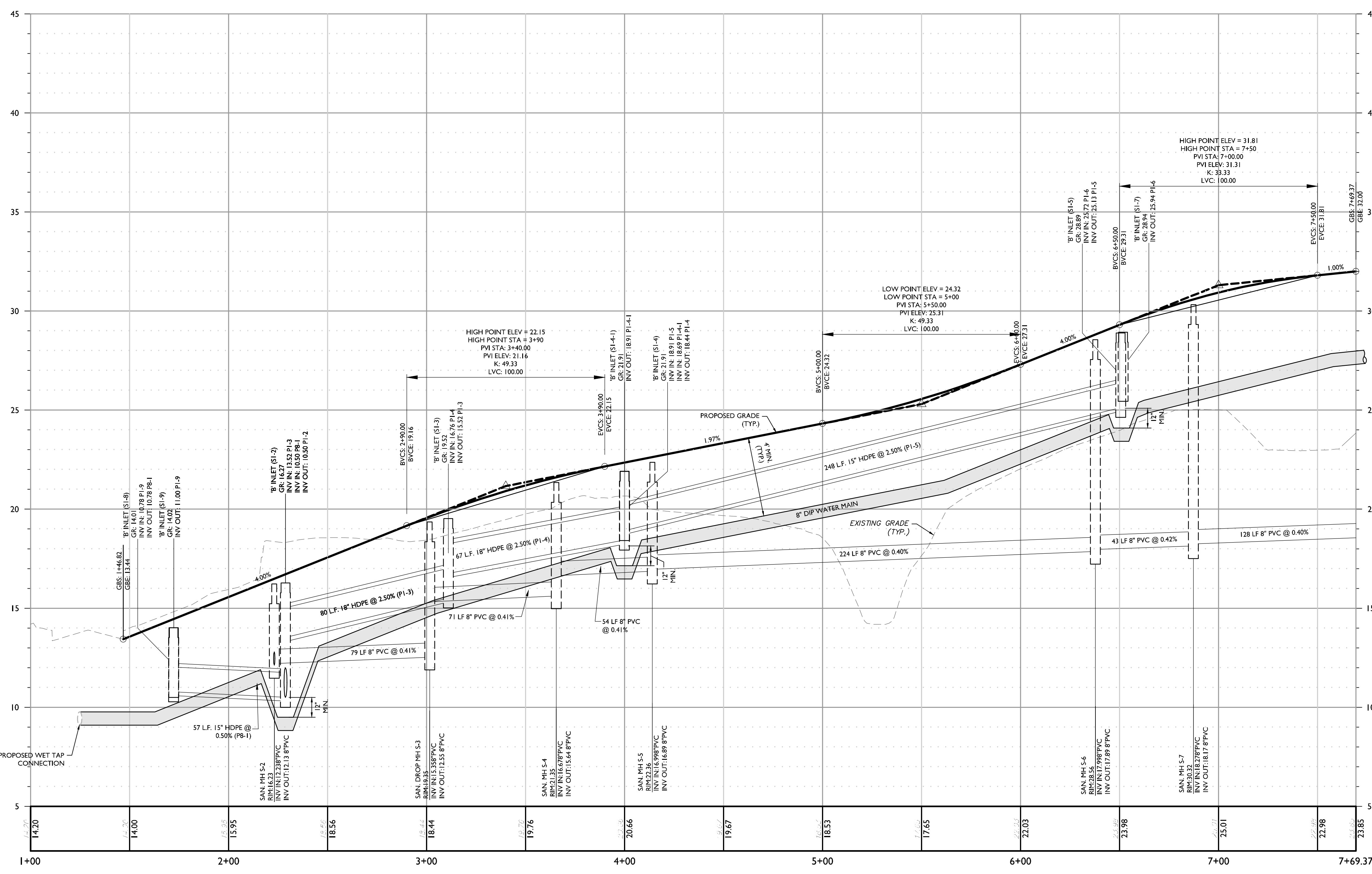
NOTE: EACH BUILDING'S WATER SERVICE LINE SHALL BE SIZED IN ACCORDANCE WITH THE HYDRAULIC CALCULATION DEMAND. SUPPORTING CALCULATIONS SHALL BE PROVIDED BY A PROFESSIONAL ENGINEER WHO SPECIALIZES IN FIRE SUPPRESSION AND APPROVED BY THE FIRE SUB-CODE OFFICIAL AT THE TIME OF BUILDING APPLICATION.



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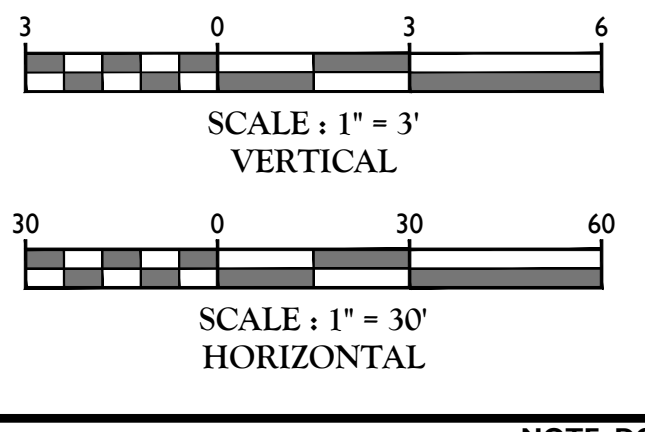
REV	DATE	DESCRIPTION

DANIEL SOBIESKI
NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: G655019

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE
BLOCK 175, BLOCK 10.01
BOROUGH OF SAYREVILLE MIDDLESEX COUNTY NEW JERSEY

RED BANK OFFICE
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER	0805661C	DRAWING NAME	C-PROP
SHEET TITLE	PROFILES		
SHEET NUMBER	8 of 25		



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REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

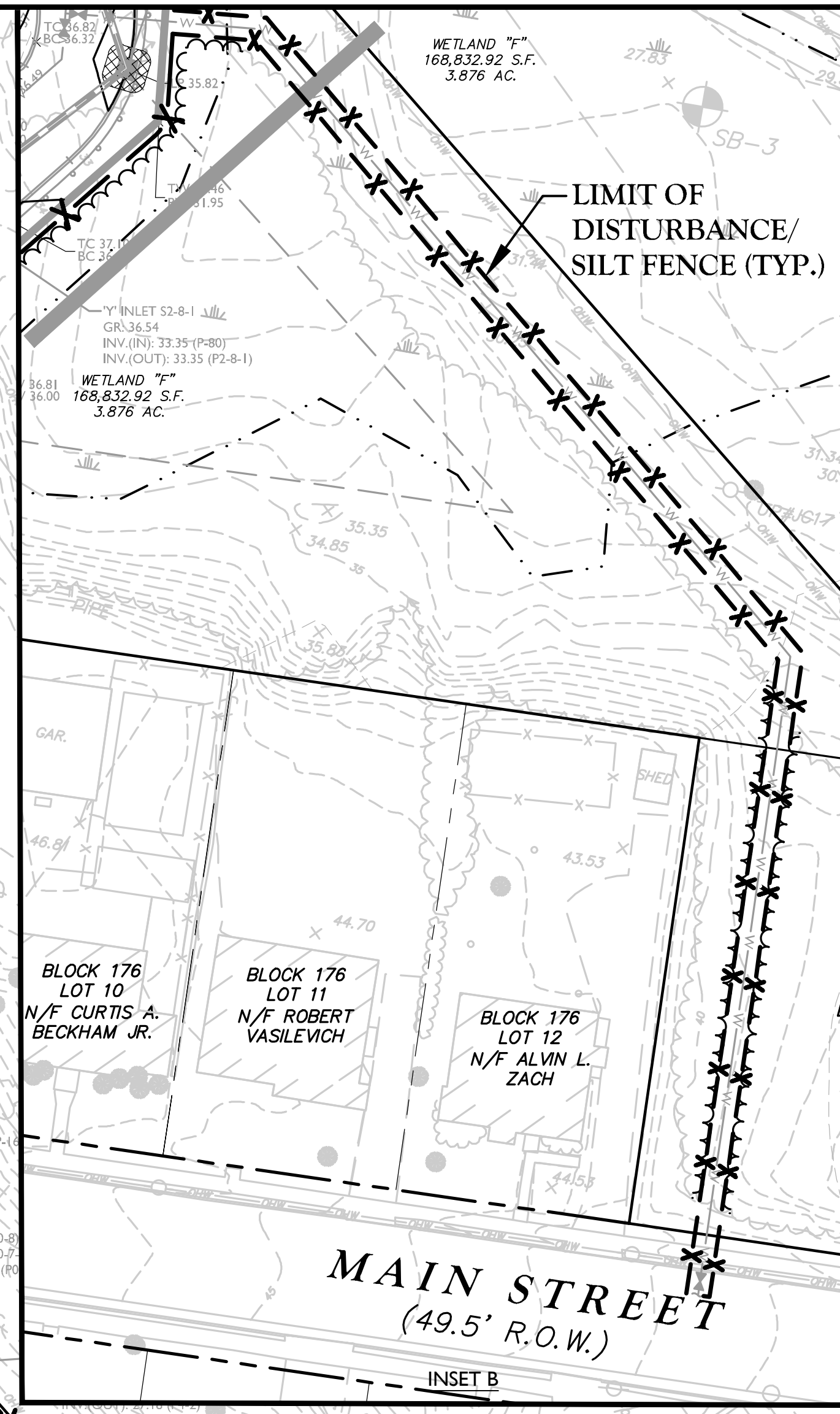
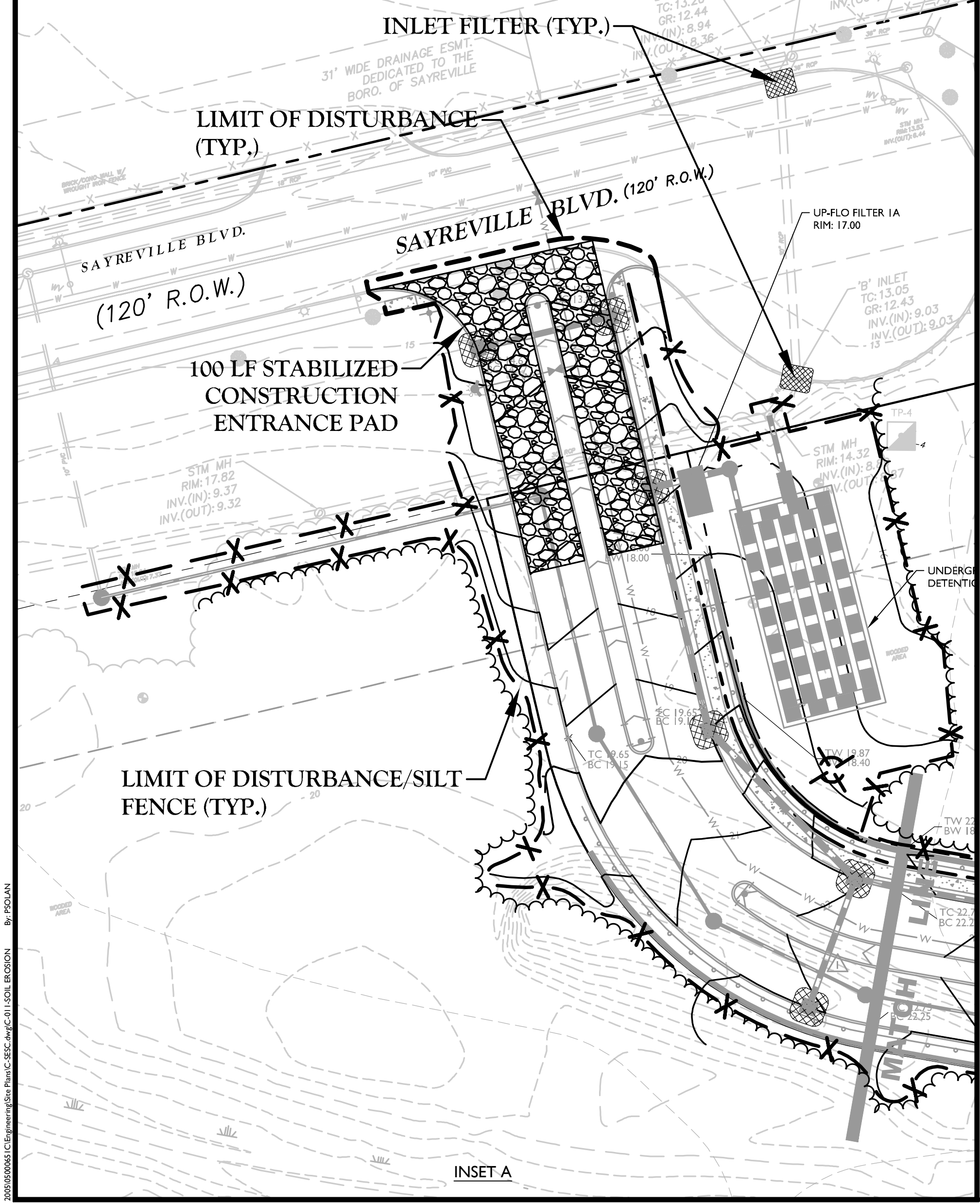
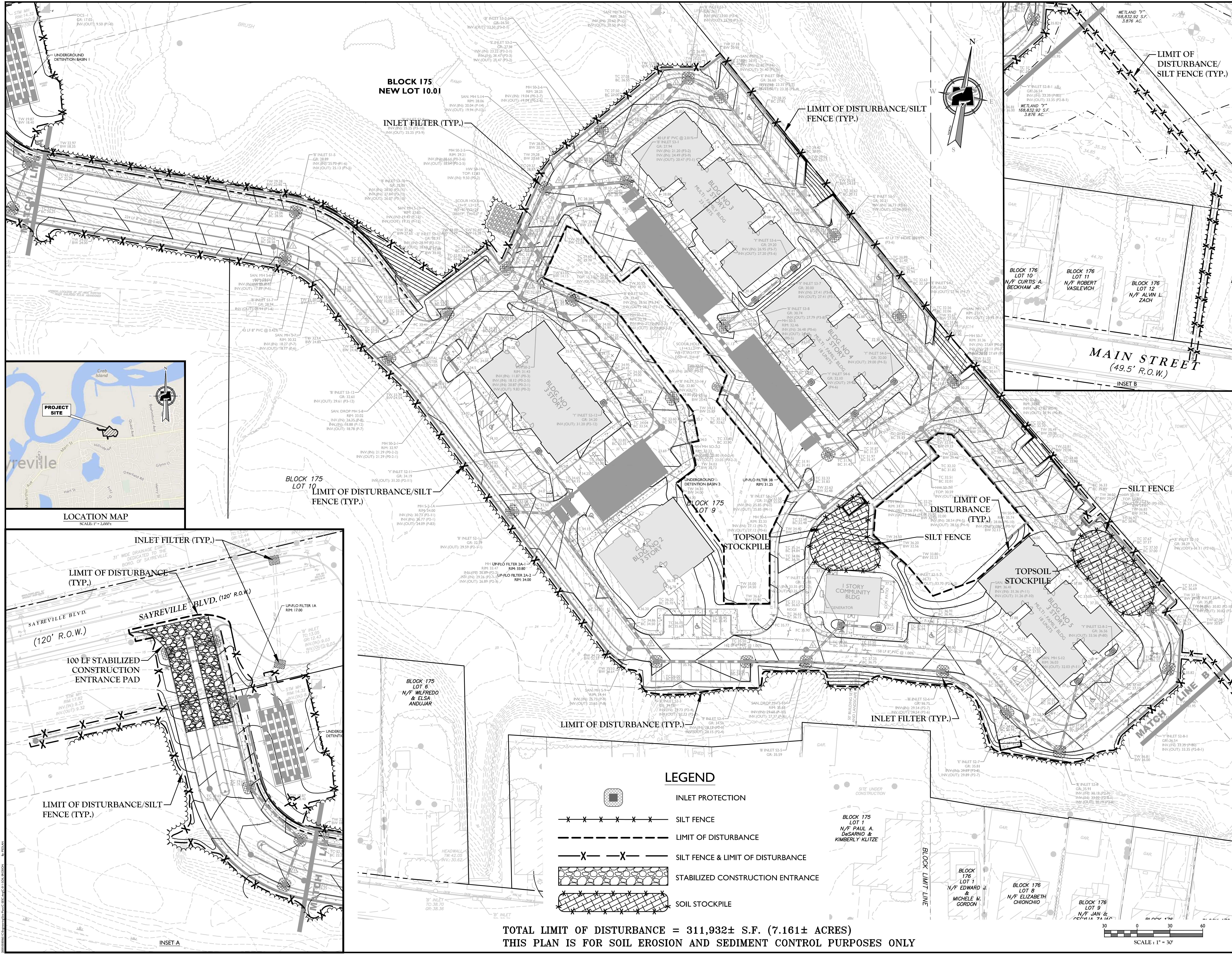
Dan Sobieski
 DANIEL SOBIESKI
 ENGINEER - LICENSE NUMBER: GE55019

AMENDED
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 SITE PLAN
 FOR
 THE PLACE AT
 SAYREVILLE
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER	0000661C	DRAWING NAME	C-55C

SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
 SHEET NUMBER: 11 of 25



LEGEND

- [Symbol] INLET PROTECTION
- [Symbol] SILT FENCE
- [Symbol] LIMIT OF DISTURBANCE
- [Symbol] SILT FENCE & LIMIT OF DISTURBANCE
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] SOIL STOCKPILE

TOTAL LIMIT OF DISTURBANCE = 311,932± S.F. (7.161± ACRES)
 THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

SCALE: 1" = 30'
 NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

THE BOROUGH OF SAYREVILLE SOIL CONSERVATION NOTES

- MCNJ-SOIL-NOTE-1005 05/01/17
- THE BOROUGH OF SAYREVILLE SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
 - ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE BOROUGH ENGINEERS OFFICE FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
 - N.J.S.A. 424-19. ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE BOROUGH ENGINEERS OFFICE DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. THE BOROUGH ENGINEERS OFFICE REPORT OF COMPLIANCE HAS BEEN OBTAINED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE BOROUGH ENGINEERS OFFICE MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE STANDARDS OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
 - ANY STOCKPILE OR DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PERMITS. THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIALS AT A RATE OF 2 TO 3 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
 - IMMEDIATELY FOLLOWING INTIL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR EQUIVALENT EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
 - A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STRIPS, ROADS, DRIVEWAYS, AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
 - THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE, AFTER INTERIOR ROADWAYS ARE PAVED. INDIVIDUAL TOLLS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCHES OF CRUSHED STONE OR GRANITE LESS THAN TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
 - ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
 - PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
 - AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROWTH COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
 - IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON FLAKES SHALL BE ULTIMATELY TREATED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 1/2" SOIL WITH A PH OF 5 OR MORE, OR 3" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
 - CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
 - UNLIMITED DOWNSPILLING IS NOT PERMITTED. NECESSARY REPAIRS MUST BE TAKEN DURING ALL DOWNSPILLING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DOWNSPILLING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DOWNSPILLING.
 - SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS MOIST. MULCH SHALL BE INSTALLED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
 - STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
 - ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

SEQUENCE OF DEVELOPMENT RESIDENTIAL CONSTRUCTION

- MCNJ-SOIL-NOTE-1501 05/01/18
- CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT FENCE, EXISTING INLET PROTECTION AND CONSTRUCTION ENTRANCE PAD. (2 WEEKS)
 - CLEARING AND ROUGH GRADING AS NECESSARY TO CONSTRUCT ROADWAYS, ALL EXPOSED SURFACES SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES. (4 WEEKS)
 - CONSTRUCT RETAINING WALLS ALONG THE PERIMETER OF THE DEVELOPMENT. (4-6 WEEKS)
 - INSTALL SUB-SURFACE STORMWATER DETENTION BASINS AND STORMWATER DRAINAGE SYSTEM, CONDUIT OUTLET PROTECTION, INLET PROTECTION AND ALL OTHER UTILITIES. (4-7 WEEKS)
 - CONSTRUCT CURBS AND PLACE ROADWAY SUBBASE (3-4 WEEKS)
 - CLEAR AND GRADE BUILDING AREAS AND CONSTRUCT UTILITIES. ALL DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. (ON-GOING FROM COMMENCEMENT OF PROJECT)
 - ESTABLISH FINISH GRASSES. CONDUCT SOIL COMPACTION TESTING AS REQUIRED, OR SCARIFY/ILL WITH MINIMUM DEPTH OF SUBSOIL IN THE LANDSCAPE AND LAWN AREA. (2 WEEKS)
 - ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED 5" OF TOPSOIL, FIRM IN PLACE, PRIOR TO SEEDING, SODDING OR PLANTING. PLACE PERMANENT VEGETATIVE COVER. (1 WEEK)
 - REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED. (2 WEEKS)
 - PAVE ROADWAY AND COMPLETE FINAL LANDSCAPING. (3 WEEKS)

STABILIZATION WITH MULCH ONLY

- MCNJ-SOIL-NOTE-1801 05/01/17
- SITE PREPARATION**
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING, PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5 INCHES; MINIMUM OF 4 INCHES, FIRMED IN PLACES AS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING ETC. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS I THROUGH 42.
 - PROTECTIVE MATERIALS**
 - UNROTATED SMALL-GRAIN STRAW, AT 20 TO 25 TONS PER ACRE, IS SPREAD UNIFORMY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS OR NETTING THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION. IE, THE SOIL CANNOT BE SEEN BELOW THE ORGANIC SOIL.
 - SYNTHETIC OR MULCH SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH HYDROSEEDER IN QUANTITIES AS RECOMMENDED BY MANUFACTURER.
 - MULCH NETTING, SUCH AS PAPER, JUTE, EXCELOR, COTTON, OR PLASTIC, MAY BE USED.
 - MULCH ANCHORING** - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPE.
 - PEG AND TWINE - DRIVE 6 TO 10 INCH WOODEN PEGS TO WITHIN 1 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CROSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - CRIPPER (MULCH ANCHORING COLLATER TOOL) - A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE APPLICABLE FOR UNIFORM DISTRIBUTION OF SEEDS. THIS PRACTICE APPLICABLE FOR UNIFORM DISTRIBUTION OF SEEDS. THIS PRACTICE APPLICABLE FOR UNIFORM DISTRIBUTION OF SEEDS.
 - LIQUID MULCH-BINDERS**
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS, AND AT CRESTS OF BANKS. THE REPAIRER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL, AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC BINDERS - HIGH POLYMERS SYNTHETIC EMULSION, MISIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

MITIGATION NOTES FOR ACIDIC SOIL

- MCNJ-SOIL-NOTE-1700 05/01/17
- LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.
 - TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
 - STOCKPILES OF HIGH-ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
 - TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 1 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH-ACID-PRODUCING SOIL.
 - HIGH ACID PRODUCING SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5.0 OR MORE EXCEPT AS FOLLOWS:
 - AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 34 INCHES OF SOIL WITH A PH OF 5 OR MORE.
 - DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS STREAMS, BANKS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
 - EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.
 - NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAMS, SEDIMENT BARRIERS, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.
 - FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING) MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO INSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

CONCRETE WASHOUT NOTES

MCNJ-SOIL-NOTE-1400 05/01/17

DUST CONTROL METHODS:

- APPLY MULCHES OR VEGETATIVE COVER AS PER N.J. SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- TILL AND ROUGHEN SURFACE AND BRING COLDS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS, BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLE THE SITE UNTIL THE SURFACE IS WET.
- ERECT BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, GRADE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE AROUND PLANTS.
- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. MATERIALS AS FOLLOWS:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPIN ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ACIDULATED SALT BEAN SOY-TRUCK	NONE	COARSE SPRAY	1200

APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 36-41.

STANDARD FOR VEGETATIVE COVER

- MCNJ-SOIL-NOTE-1100
- LAWN AREAS**
 - MIX #16 (POORLY DRAINED SOIL) ROUGH BLUEGRASS 90 LBS/ACRE STRONG CREeping RED FESCUE 130 LBS/ACRE
 - OPTIMUM SEEDING DATES: 8/15 - 10/15 (ZONE 6B) 3/1 - 4/30 (ZONE 6A)
 - ACCEPTABLE SEEDING DATES: 7/15 - 10/15 (ZONE 6B) 3/1 - 4/30 (ZONE 6A)
 - SUMMER SEEDING DATES: 5/1 - 8/14 (ZONE 6B)
 - *NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED, MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENSURE ESTABLISHMENT BEFORE FREEZING CONDITIONS.
 - DETENTION BASINS:**
 - MIX #9: DEERTONGUE 20 LBS/ACRE REDTOP 2 LBS/ACRE WILD RYE (E-LYPMIS) 15 LBS/ACRE SWITCHGRASS 25 LBS/ACRE
 - OPTIMUM SEEDING DATES: 3/1 - 4/30 (Zone 6b)
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMY BY HAND, CYCLONE (CENTRALIZED SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER EXCEPT FOR DRILLED, HYDROSEEDER, OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, WHEN POOR SEED TO SOIL CONTACT OCCURS TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.**
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMY BY HAND, CYCLONE (CENTRALIZED SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER EXCEPT FOR DRILLED, HYDROSEEDER, OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, WHEN POOR SEED TO SOIL CONTACT OCCURS TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDING. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 - MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL, WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
 - MULCHING** IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXPOSURE OF VEGETATION SURFACES TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
 - STRAW OR HAY: UNROTATED SMALL-GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1/2 TO 3 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIPPER IS USED INSTEAD OF A LIQUID MULCH-BINDER THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLINDERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION - SPREAD MULCH UNIFORMY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
 - ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS:
 - PEG AND TWINE - DRIVE 6 TO 10 INCH WOODEN PEGS TO WITHIN 1 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CROSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIPPER (MULCH ANCHORING COLLATER TOOL) - A TRACTOR-DRAWN IMPLEMENT,

CONCRETE WASHOUT NOTES

- MCNJ-SOIL-NOTE-1300 05/01/17
- CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
 - THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ON SITE.
 - WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 YARDS AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
 - APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.
 - THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY. LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS.
 - CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ON SITE.
 - CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TRAKS IN PLASTIC LINING.
 - REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
 - PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR COVERED.
 - ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
 - PRE-FABRICATED OR ON-SITE FABRICATED CONCRETE WASHOUTS MAY BE USED.
 - OPTIONS FOR ON-SITE CONCRETE WASHOUTS:
 - DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING.
 - CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS WITH 10 MIL PLASTIC LINING.

SPPP REQUIRED INSPECTIONS AND REPORTS

- MCNJ-SOIL-NOTE-1201 09/01/17
- A COPY OF THE AUTHORIZATION SHALL BE POSTED ON-SITE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HAS BEEN ISSUED. THE PERMITTEE SHALL POST THE NIDEP HOTLINE NUMBER (1-877-WARN-DEP) WITH THE COPY OF THE AUTHORIZATION.
- ROUTINE INSPECTIONS**
 - THE PERMITTEE SHALL CONDUCT AND DOCUMENT WEEKLY (MINIMUM) INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER CORRECTIVE MEASURES ARE REQUIRED. THE PERMITTEE SHALL SUBMIT A REPORT TO THE CONSTRUCTION ACTIVITY STORMWATER (GID) PART I NARRATIVE REQUIREMENTS, INCLUDING THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS COMPLIANT WITH PERMIT REQUIREMENTS FOR PERMANENT VEGETATIVE COVER OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE IMPAIRED.
 - STORMWATER POLLUTION PREVENTION PLAN (SPPP)**
 - CONSTRUCTION ACTIVITY THAT MAY RESULT IN A STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT SHALL BE EXECUTED ONLY IN ACCORDANCE WITH A SPPP THAT CONSISTS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND (WHERE APPLICABLE) CONSTRUCTION ACTIVITY WASTE CONTROL PLAN. THE SPPP SHALL BE RETAINED BY THE PERMITTEE FOR A PERIOD OF AT LEAST FIVE YEARS AFTER THE COMPLETION OF CONSTRUCTION. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST OF THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-6.4).
 - REPORTS OF NON-COMPLIANCE**
 - ALL INSTANCES OF NON-COMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.
 - NOTIFICATION OF COMPLETION**
 - THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 7:26-1 FOR COMPLETED CONSTRUCTION ACTIVITIES EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION.
 - THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF PROJECT AT N.J.S.A. 424-41.6, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE PERMIT CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.
 - THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.
 - COPIES OF ALL OF THE ABOVE INCLUDING THE SPPP (WITH THE CERTIFIED PLAN), THE CERTIFICATION, AUTHORIZATION UNDER NIDEP, CONSTRUCTION ACTIVITY STORMWATER GENERAL PERMIT, ALL CORRESPONDENCE AND NOTES TO AND FROM THE NIDEP AND SOIL CONSERVATION DISTRICT (OR DESIGNATED MUNICIPALITY) SHALL BE MAINTAINED ON-SITE.**

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

- MCNJ-SOIL-NOTE-1200 07/01/17
- THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENTS IN 2. J. AND 4. BELOW. THESE REQUIREMENTS BECAME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN EROSION SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH RECEIVES AUTOMATIC RENEWAL OF AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENTS.
 - MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE** - ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURER'S RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)
 - WASTE HANDLING** - THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT IS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOIL WASTE MANAGEMENT ACT, N.J.S.A. 13:1E-1 ET SEQ. AND ITS IMPLEMENTING RULES, AS N.J.A.C. 7:26, 7:26A, AND 7:26G. THE NEW JERSEY PESTICIDE CONTROL CODE, N.J.A.C. 7:30, THE STATE LITTER STATUTE (N.J.S.A. 13:1E-9.3), AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ON-SITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.
- CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:
 - "CONSTRUCTION AND DEMOLITION WASTE" AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP, TREE PARTS, TREE STUMPS AND BRUSH; CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND GYPSUM; ROOFING MATERIALS; CORRUGATED CARBONADE AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING MATERIALS; CONCRETE SCRAP; CARBON AND CERAMIC TILE (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS, BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES"
 - ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE RULES).
 - DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.
 - OTHER "LITTER" AS DEFINED AT N.J.S.A. 13:1E-21.5D AS FOLLOWS: "ANY USED OR UNCLEANED SUBSTANCE OR WASTE MATERIAL, WHICH HAS BEEN DISCARDED WHETHER IN RUBBER, RUBBER, CARBON, CARBON, CARBON, CARBON, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNCLEANED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBER, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."
 - SANITARY SEWAGE AND SEPTAGE.
 - CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE.
 - CONCRETE WASHOUT - CONCRETE WASHOUT ON-SITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCKS, CHUTES, HOSES, MIXERS, HOPPERS, AND TOOLS.
 - DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER.
 - HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
 - THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN INDICATING THE AREA USES.
 - SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ON-SITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL SHALL BE PROVIDED AND MAINTAINED ON-SITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS.
 - SPILLS: DISCHARGES OF HAZARDOUS SUBSTANCES, FEDERALLY REPORTABLE RELEASES.
 - SPILL KITS SHALL BE AVAILABLE ON-SITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2 ABOVE AND USED OR APPLIED ON-SITE. ALL SPILLS OF SUCH MATERIALS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.
 - DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL COMPENSATION AND CONTROL ACT, N.J.S.A. 9B:10-21.1 (ET SEQ.), AND OTHER APPLICABLE RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.J.A.C. 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ON-SITE SPILL SHALL BE DEEMED TO BE "HURRIANT" TO AND IN COMPLIANCE WITH [THIS] PERMIT" WITHIN THE MEANING OF THE SPILL COMPENSATION AND CONTROL ACT AT N.J.S.A. 9B:10-21.1(C).
 - RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 117.11, AND 302 THAT OCCUR WITHIN A 24-HR PERIOD MUST BE REPORTED TO THE NATIONAL RISK CENTER (800-424-8800).

CONCRETE WASHOUT NOTES

- MCNJ-SOIL-NOTE-1400 05/01/17
- LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.
 - TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
 - STOCKPILES OF HIGH-ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
 - TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 1 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH-ACID-PRODUCING SOIL.
 - HIGH ACID PRODUCING SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5.0 OR MORE EXCEPT AS FOLLOWS:
 - AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 34 INCHES OF SOIL WITH A PH OF 5 OR MORE.
 - DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS STREAMS, BANKS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
 - EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.
 - NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAMS, SEDIMENT BARRIERS, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.
 - FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING) MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO INSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

CONCRETE WASHOUT NOTES

MCNJ-SOIL-NOTE-1400 05/01/17

DUST CONTROL METHODS:

- APPLY MULCHES OR VEGETATIVE COVER AS PER N.J. SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- TILL AND ROUGHEN SURFACE AND BRING COLDS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS, BEGIN P

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REV.	DATE	DRAWN BY	DESCRIPTION

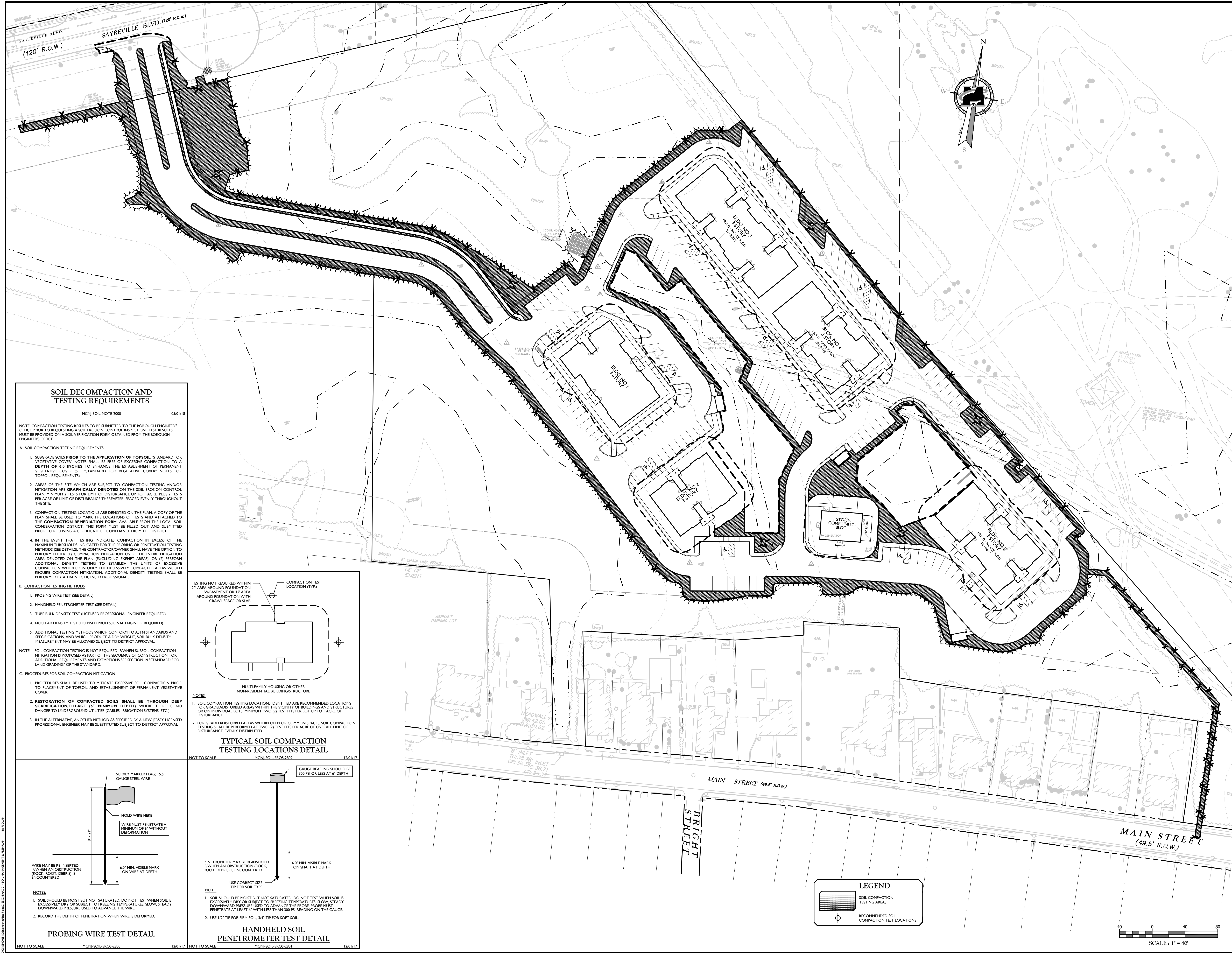
Dan Sobieski
 DANIEL SOBIESKI
 NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE55019

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
 311 Newman Springs Road
 Suite 203
 Red Bank, NJ 07701
 Phone: 732.383.1950
 Fax: 732.383.1984

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/24/2020	DSS	DSS
PROJECT NUMBER	4242020	DRAWING NAME	
0000061C		CS-05C	

SHEET TITLE: SOIL MANAGEMENT & PREPARATION PLAN
 SHEET NUMBER: 14 of 25



SOIL DECOMPACTION AND TESTING REQUIREMENTS

MCNJ-SOIL-NOTE-2000 05/01/18

NOTE: COMPACTION TESTING RESULTS TO BE SUBMITTED TO THE BOROUGH ENGINEER'S OFFICE PRIOR TO REQUESTING A SOIL EROSION CONTROL INSPECTION. TEST RESULTS MUST BE PROVIDED ON A SOIL VERIFICATION FORM OBTAINED FROM THE BOROUGH ENGINEER'S OFFICE.

A. SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL STANDARD FOR VEGETATIVE COVER NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. (SEE STANDARD FOR VEGETATIVE COVER NOTES FOR TOPSOIL REQUIREMENTS).
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL ENGINEER.

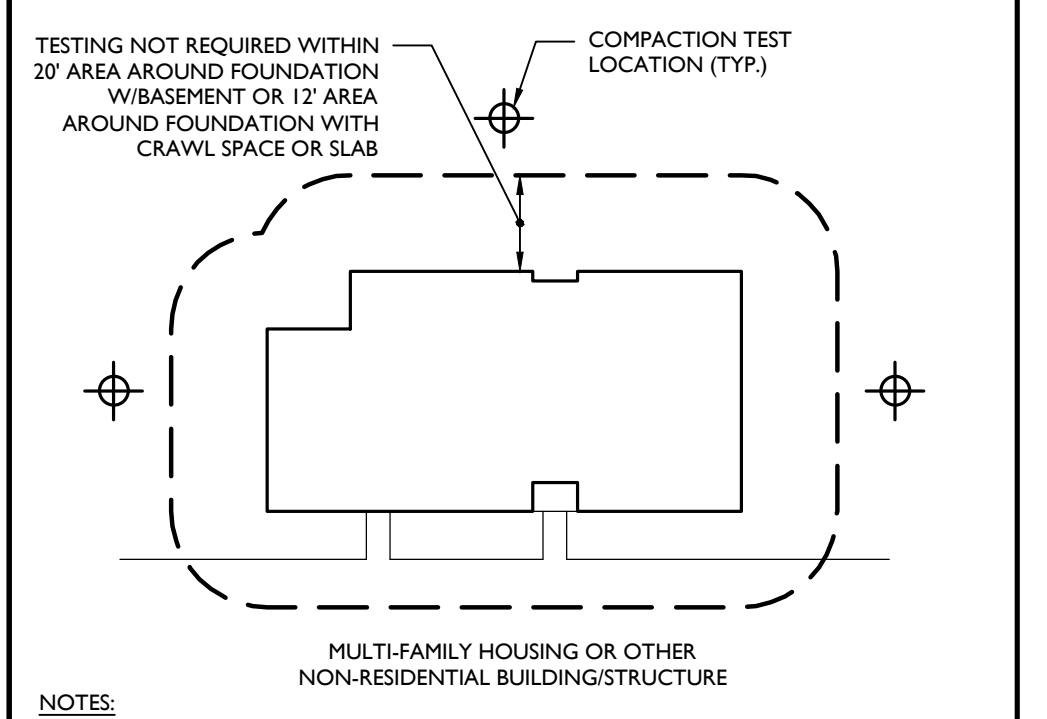
B. COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HANDHELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

NOTE: SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION MITIGATION IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION FOR ADDITIONAL REQUIREMENTS AND EXEMPTIONS SEE SECTION 19 STANDARD FOR LAND GRADING OF THE STANDARD.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

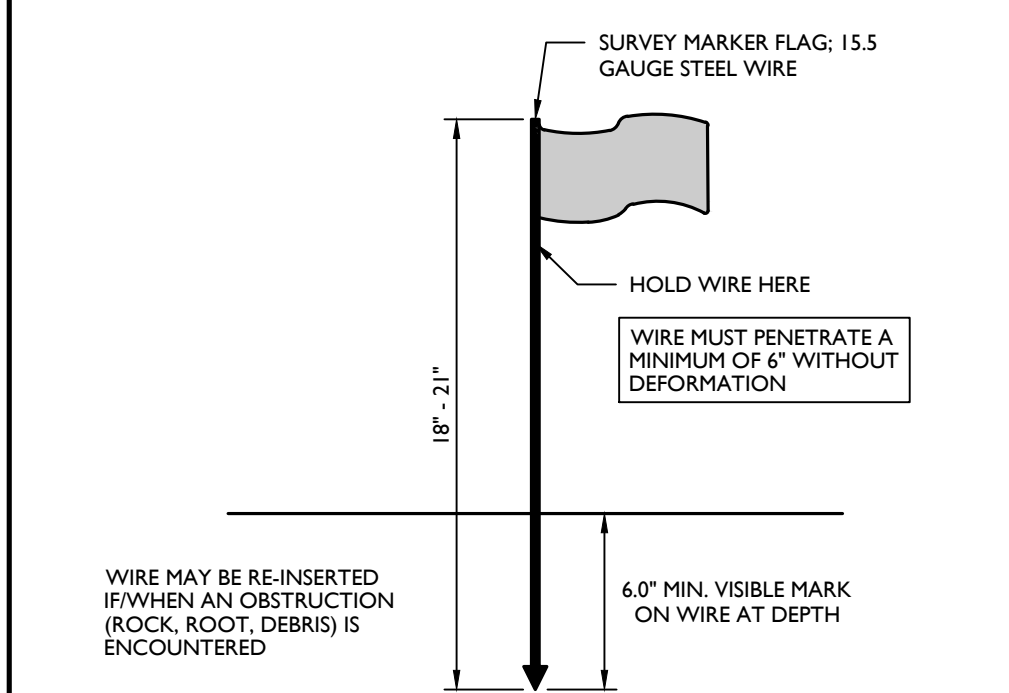
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



- NOTES:
- SOIL COMPACTION TESTING LOCATIONS IDENTIFIED ARE RECOMMENDED LOCATIONS FOR GRADED/DISTURBED AREAS WITHIN THE VICINITY OF BUILDINGS AND STRUCTURES OR ON INDIVIDUAL LOTS. MINIMUM TWO (2) TEST PITS PER LOT UP TO 1 ACRE OF DISTURBANCE.
 - FOR GRADED/DISTURBED AREAS WITHIN OPEN OR COMMON SPACES, SOIL COMPACTION TESTING SHALL BE PERFORMED AT TWO (2) TEST PITS PER ACRE OF OVERALL LIMIT OF DISTURBANCE, EVENLY DISTRIBUTED.

TYPICAL SOIL COMPACTION TESTING LOCATIONS DETAIL

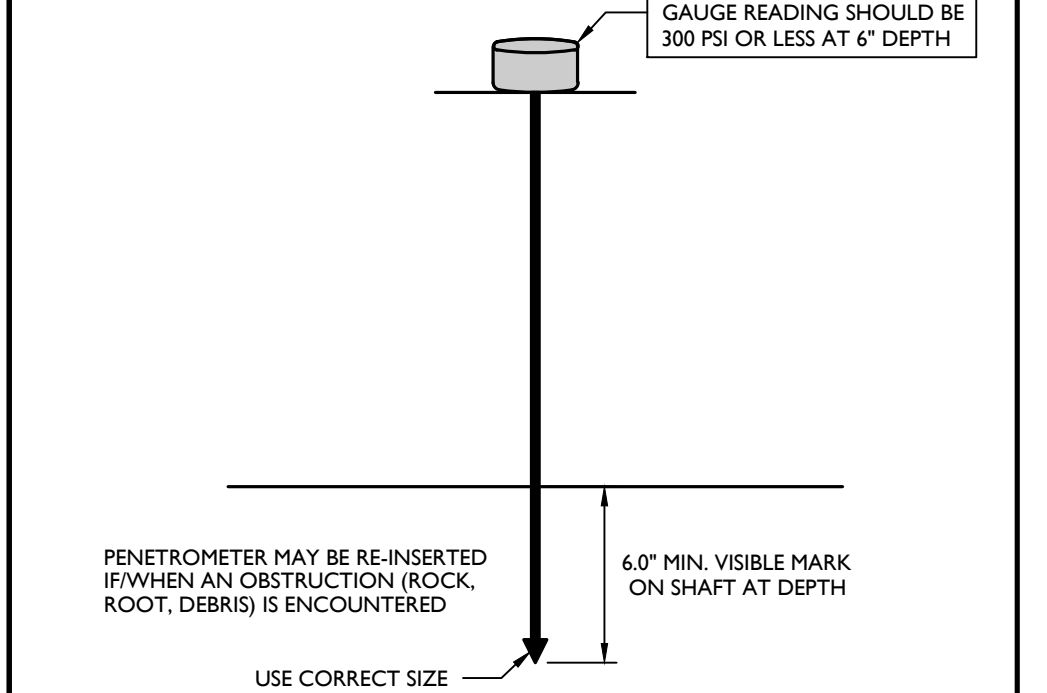
MCNJ-SOIL-EROS-2802 1/20/17



- NOTES:
- SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.
 - RECORD THE DEPTH OF PENETRATION WHEN WIRE IS DEFORMED.

PROBING WIRE TEST DETAIL

MCNJ-SOIL-EROS-3800 1/20/17



- NOTE:
- SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAUGE.
 - USE 1/2" TIP FOR FIRM SOIL, 3/4" TIP FOR SOFT SOIL.

HANDHELD SOIL PENETROMETER TEST DETAIL

MCNJ-SOIL-EROS-2801 1/20/17

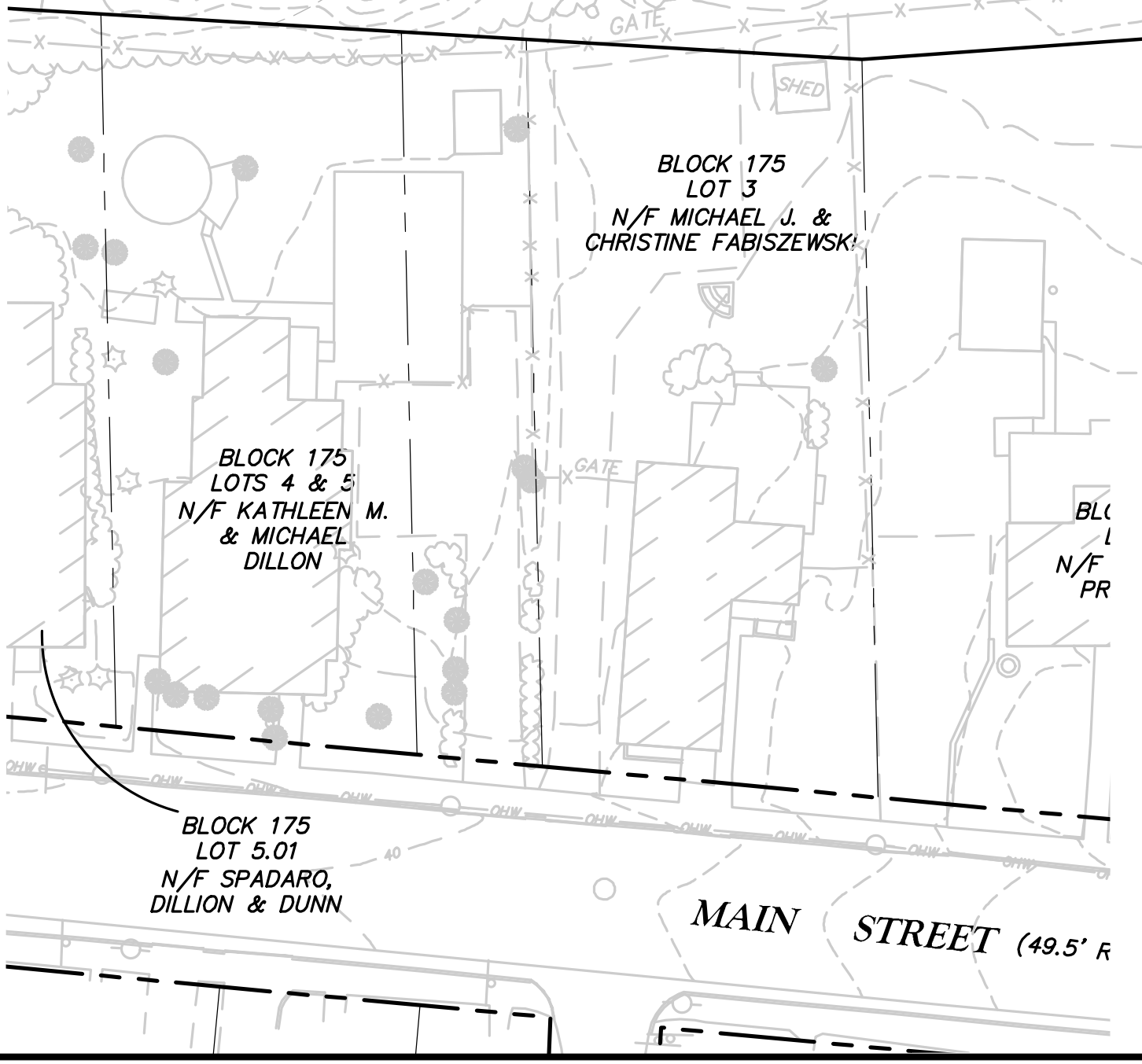
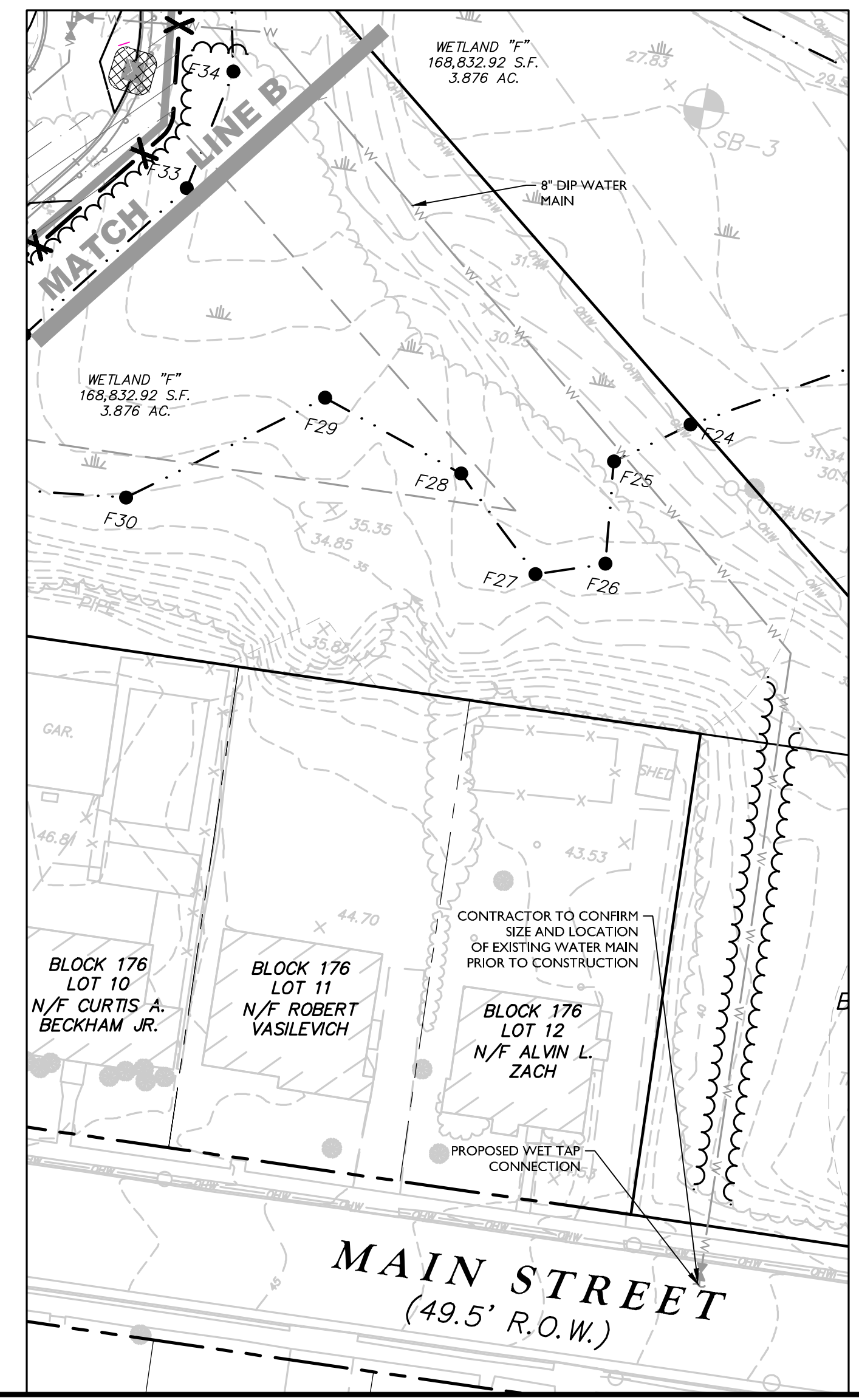
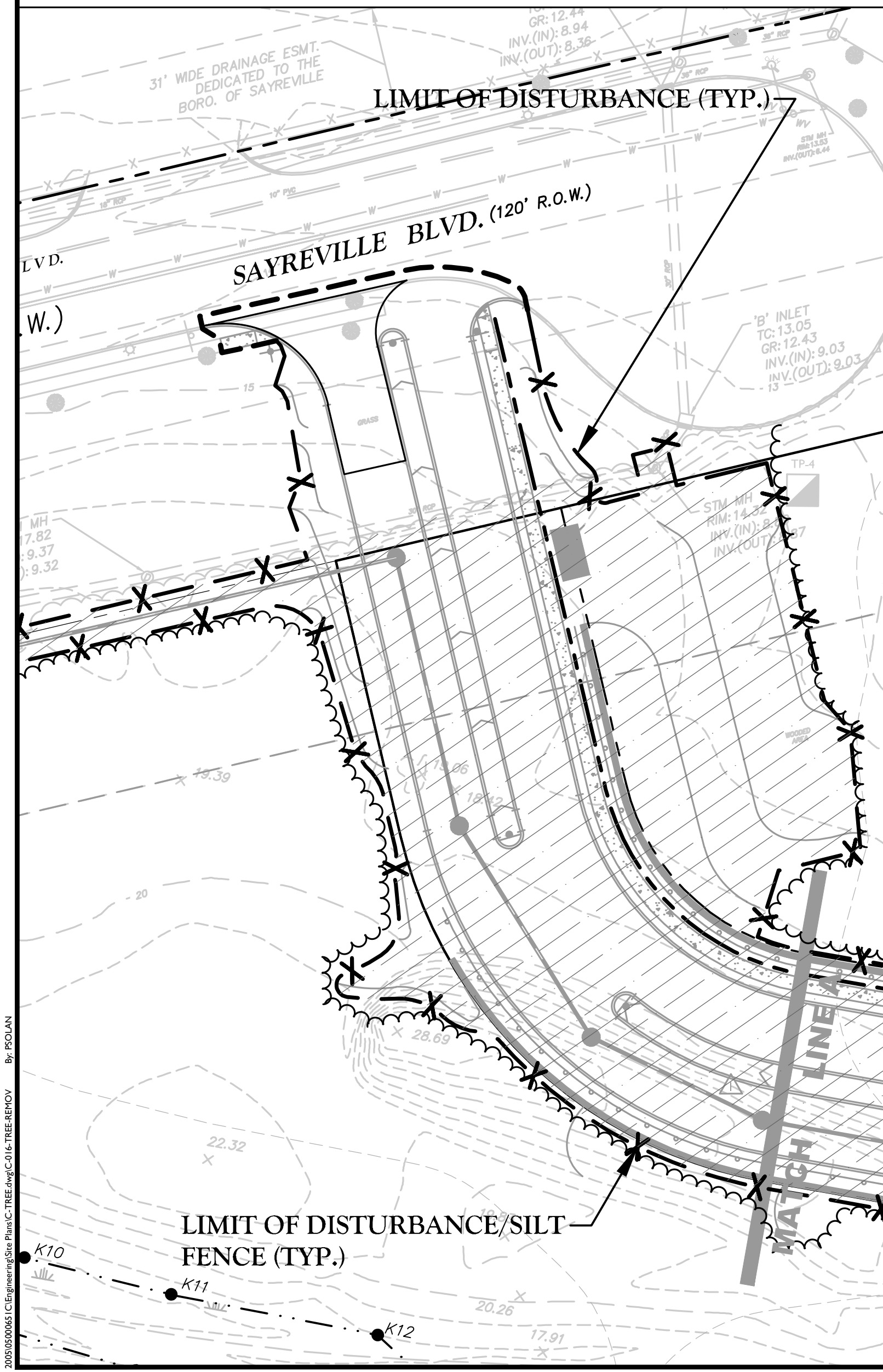
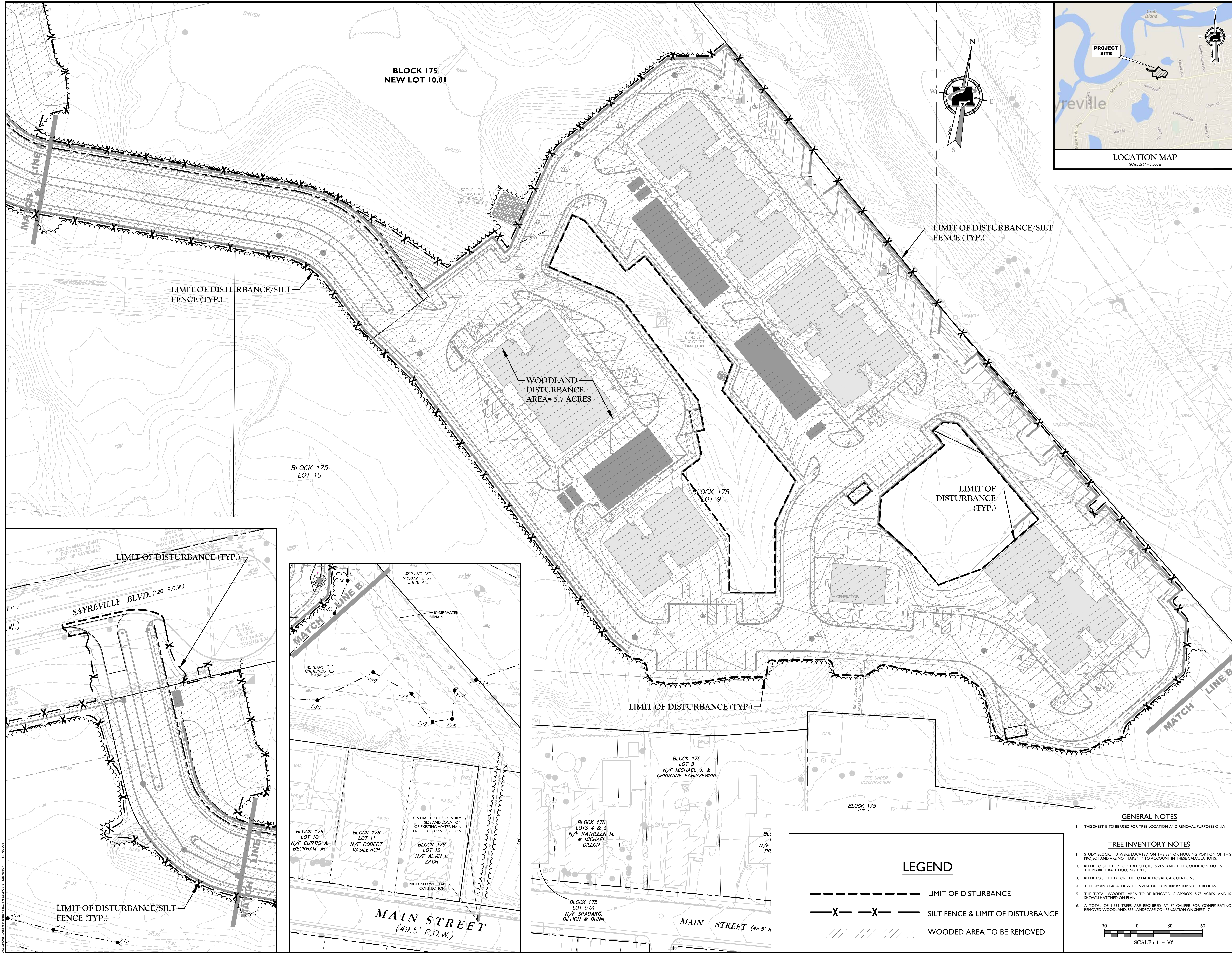
LEGEND

- SOIL COMPACTION TESTING AREAS
- RECOMMENDED SOIL COMPACTION TEST LOCATIONS

SCALE: 1" = 40'



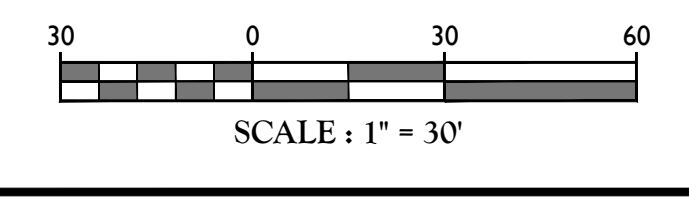
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LEGEND

- LIMIT OF DISTURBANCE
- SILT FENCE & LIMIT OF DISTURBANCE
- WOODED AREA TO BE REMOVED

- GENERAL NOTES**
- THIS SHEET IS TO BE USED FOR TREE LOCATION AND REMOVAL PURPOSES ONLY.
- TREE INVENTORY NOTES**
- STUDY BLOCKS 1-3 WERE LOCATED ON THE SENIOR HOUSING PORTION OF THIS PROJECT AND ARE NOT TAKEN INTO ACCOUNT IN THESE CALCULATIONS.
 - REFER TO SHEET 17 FOR TREE SPECIES, SIZES, AND TREE CONDITION NOTES FOR THE MARKET RATE HOUSING TREES.
 - REFER TO SHEET 17 FOR THE TOTAL REMOVAL CALCULATIONS.
 - TREES 4" AND GREATER WERE INVENTORIED IN 100' BY 100' STUDY BLOCKS.
 - THE TOTAL WOODED AREA TO BE REMOVED IS APPROX. 5.73 ACRES, AND IS SHOWN HATCHED ON PLAN.
 - A TOTAL OF 1,734 TREES ARE REQUIRED AT 3" CALIPER FOR COMPENSATING REMOVED WOODED AREA. SEE LANDSCAPE COMPENSATION ON SHEET 17.



REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

Gustave E. DeBlasio
GUSTAVE E. DeBLASIO
 TREE EXPERT - LICENSE NUMBER: 485

AMENDED
 PRELIMINARY/FINAL
 SITE PLAN
 FOR
**THE PLACE AT
 SAYREVILLE**

BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE
 MIDDLESEX COUNTY
 NEW JERSEY

RED BANK OFFICE
 Corporate Headquarters
 331 Newman Springs Road
 Suite 203
 Red Bank, NJ 07070
 Phone: 732.383.1950
 Fax: 732.383.1984

SCALE: DATE: DRAWN BY: CHECKED BY:
 AS SHOWN 4/24/2020 DSS DSS
 PROJECT NUMBER: DRAWING NAME:
 0000061C C-TREE

SHEET TITLE:
TREE REMOVAL PLAN

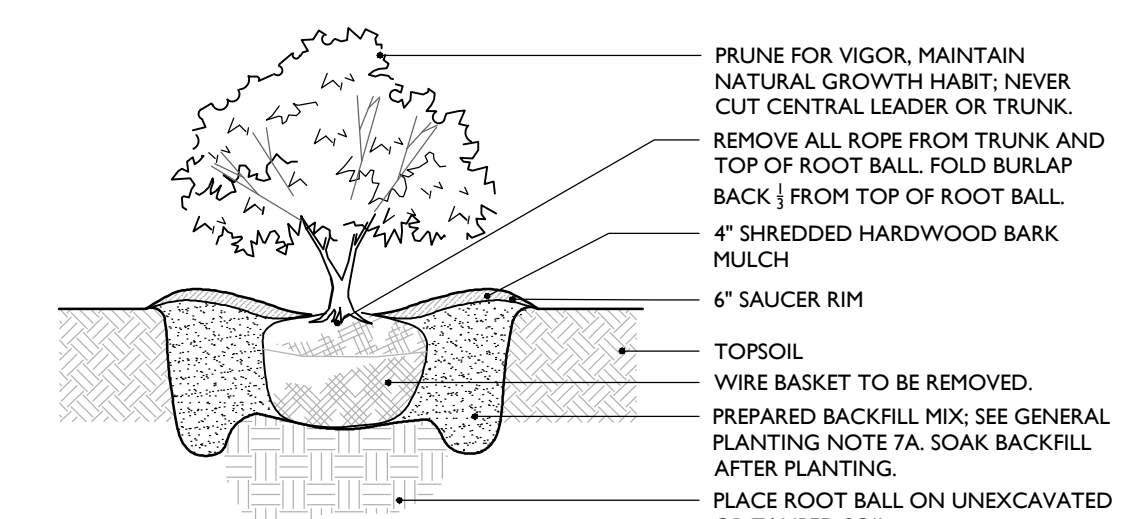
SHEET NUMBER:
16 of 25

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
AA	30	Acer rubrum 'Armstrong'	Armstrong Red Maple	B & B	3-3 1/2"		
AG	7	Acer rubrum 'October Glory TM'	October Glory Maple	B & B	3-3 1/2"		
LH	1	Liquidambar styraciflua 'Happdel'	Happdel Sweet Gum	B & B	3-3 1/2"		
NS	2	Nyssa sylvatica	Sour Gum	B & B	3-3 1/2"		FALL DIGGING HAZARD
QA	3	Quercus alba	White Oak	B & B	3-3 1/2"		FALL DIGGING HAZARD
QG	22	Quercus palustris 'Green Pillar'	Green Pillar Oak	B & B	3-3 1/2"		
QP	6	Quercus phellos	Willow Oak	B & B	3-3 1/2"		
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
FG	13	Juniperus chinensis 'Fezai Columaris'	Fezai Columaris Juniper	B & B	4-7'		
PV	17	Picea pungens glauca	Colorado Blue Spruce	B & B	5-6'		
TG	22	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	B & B	5-6'		
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
CA	4	Cercis canadensis 'Appalachian Red'	Eastern Redbud	B & B	3' Cal. Min	6-7'	FALL DIGGING HAZARD
CA3	3	Cornus florida 'Appalachian Snow'	Dogwood Appalachian Snow	B & B	3' Cal. Min	6-7'	
CF	12	Cornus florida 'Cherokee Brave'	Cherokee Brave Dogwood	B & B	3' Cal. Min	6-7'	
MM	10	Magnolia stellata	Star Magnolia Multi-Trunk	B & B	3' Cal. Min	6-7'	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	MATURE WIDTH	REMARKS
HFS	53	Hypericum frondosum 'Sunburst'	Sunburst Hypericum	3 gal	18-24"		
IG	11	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	5 gal	24-30"		
IH	53	Ilex crenata 'Heleni'	Heleni Japanese Holly	3 gal	18-24"		
KE	21	Kalmia latifolia 'EF'	Dwarf Mountain Laurel	3 gal	18-24"		
LA	15	Lexoschoea axillaris	Coastal Lexoschoea	3 gal	18-24"		
SJ	11	Summia japonica	Summia	5 gal			
SG	58	Spiraea japonica 'Goldmound'	Spiraea	3 gal	18-24"		
WS	26	Weigela florida 'Bokraspiwi'	Spilled Wine Weigela	3 gal	18-24"	1-2'	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	MATURE WIDTH	REMARKS
PH	34	Pennisetum alopecuroides 'Hamel'	Hamel Dwarf Fountain Grass	1 gal	12-15"		DO NOT CUT DOWN IN FALL
SH	78	Sporobolus heteropsis	Prarie Droopseed	1 gal	12-15"		DO NOT CUT DOWN IN FALL
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	MATURE WIDTH	REMARKS
HF	50	Hemerocallis x 'Fairy Tale Pink'	Duilly	1 gal			
HJ	37	Hosta x 'June'	June Hosta	2 gal			
LSS	349	Liriope spicata 'Silver Dragon'	Creeping Lily Turf	1 gal			
SM	42	Saxia nemorosa 'May Night'	May Night Sage	1 gal			
SS	50	Saxia nemorosa 'Snow Hill'	Woodland Sage	1 gal			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACINGS 30' O.C.	REMARKS
JB	65	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	2 gal			

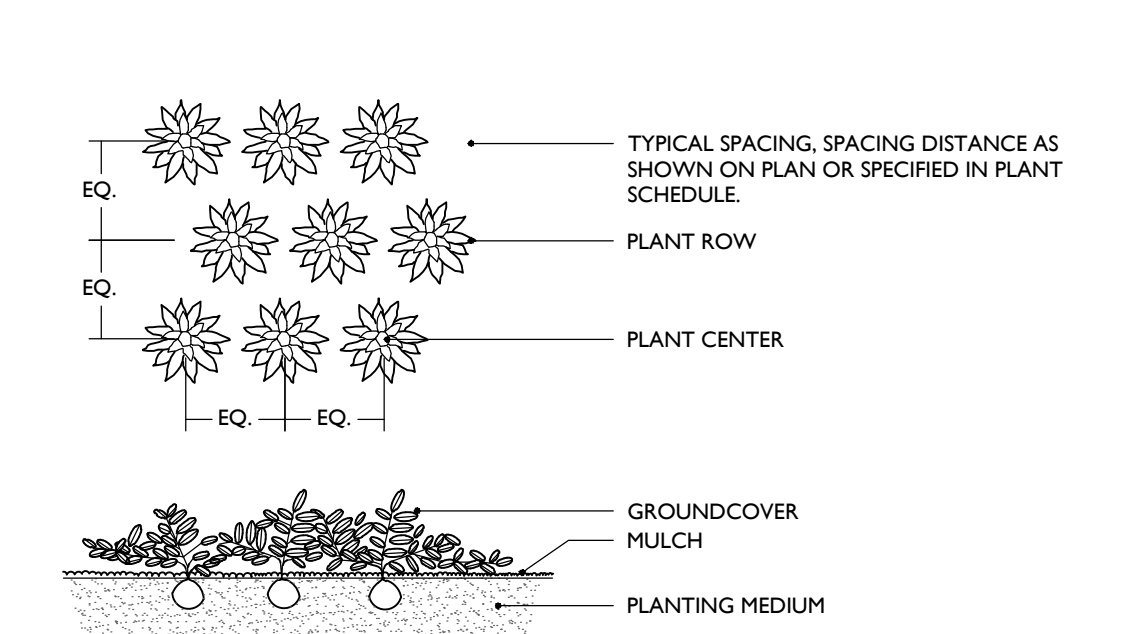
GENERAL PLANTING NOTES

- A. GENERAL**
- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATIONS CONFLICTING PRIOR TO PLANTING INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THE WORK.
 - OWNER OR HISHER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- B. PLANT MATERIAL**
- PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z66.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL AND BRANCHING PATTERN.**
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
 - ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
 - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
 - PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
 - PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
 - SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
 - GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS FAILING WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- C. PLANTING PROCEDURES**
- PLANTING BEDS:
 - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
 - SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
 - PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
 - PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE
- D. MAINTENANCE**
- PRUNING:
 - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0". THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
 - LAWN AREAS:
 - THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
 - SOIL, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOIL SHALL BE TOPSOILED, LIMED, AND FERTILIZED & PINE GRADED PRIOR TO LAWN INSTALLATION.
 - EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
 - SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.



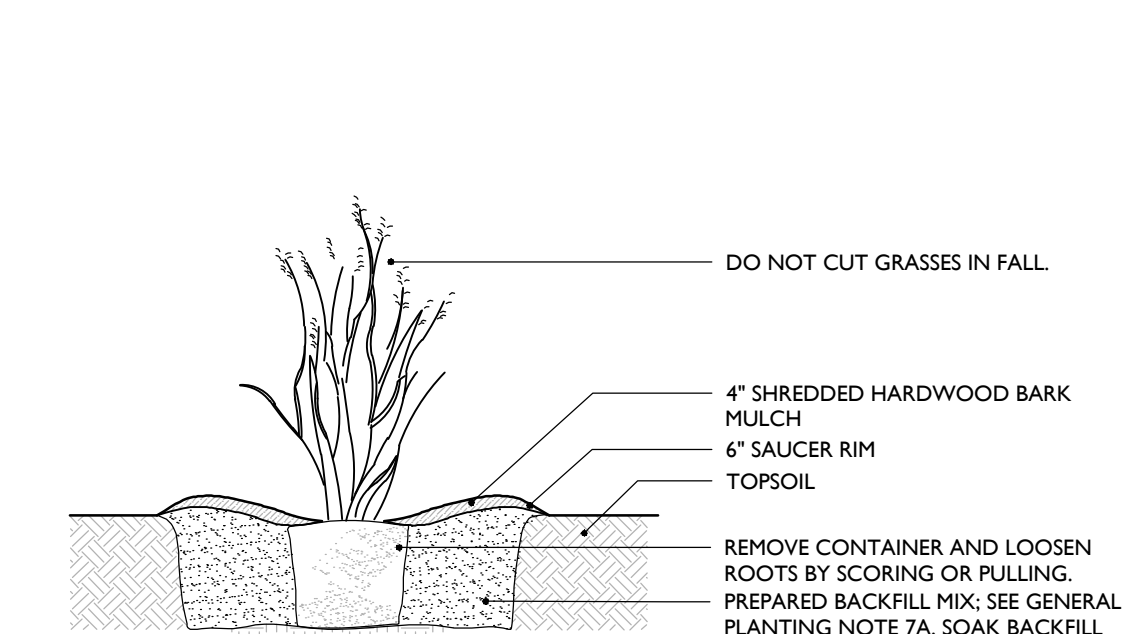
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL



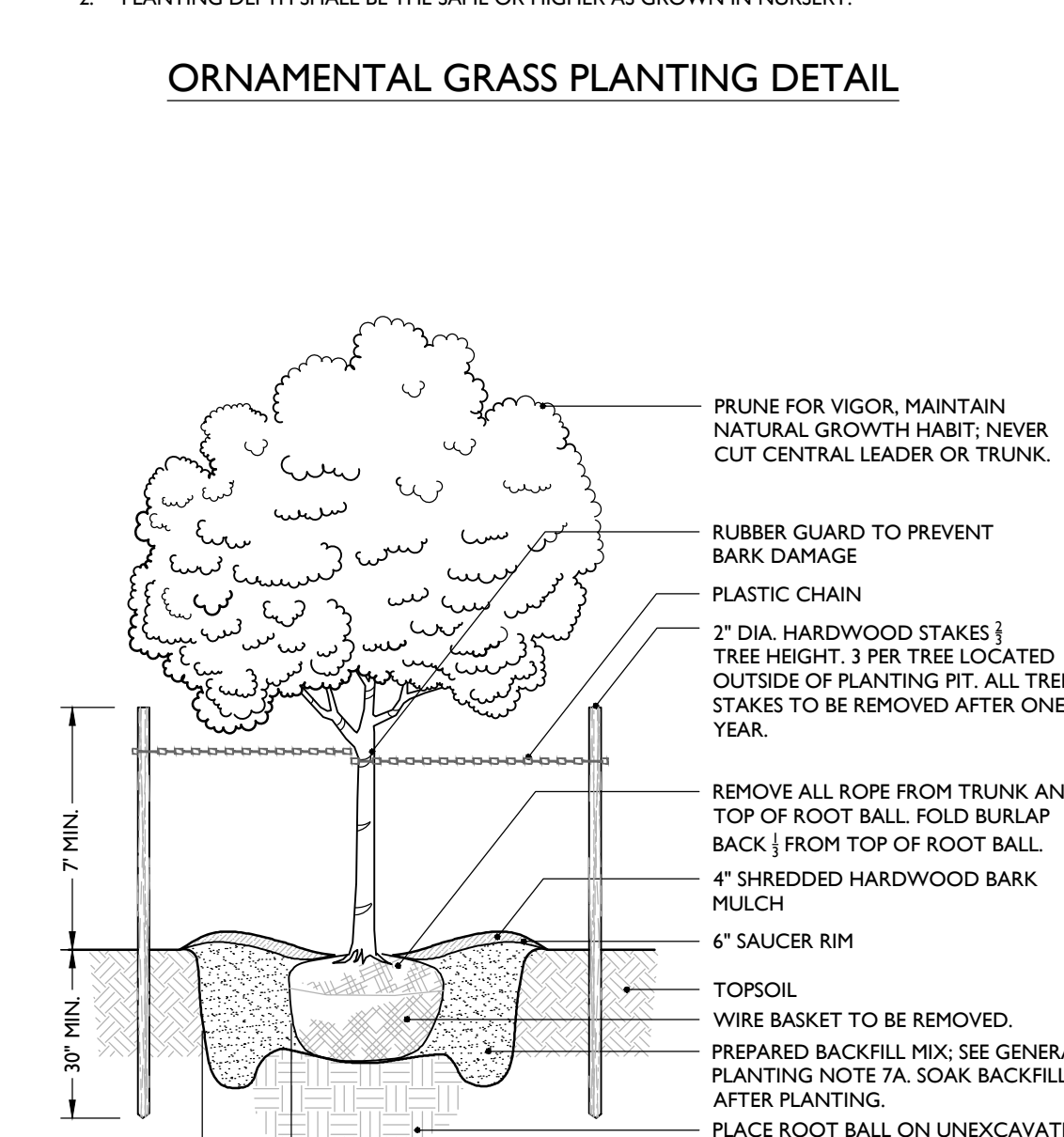
- NOTES:
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

GROUND COVER PLANTING DETAIL



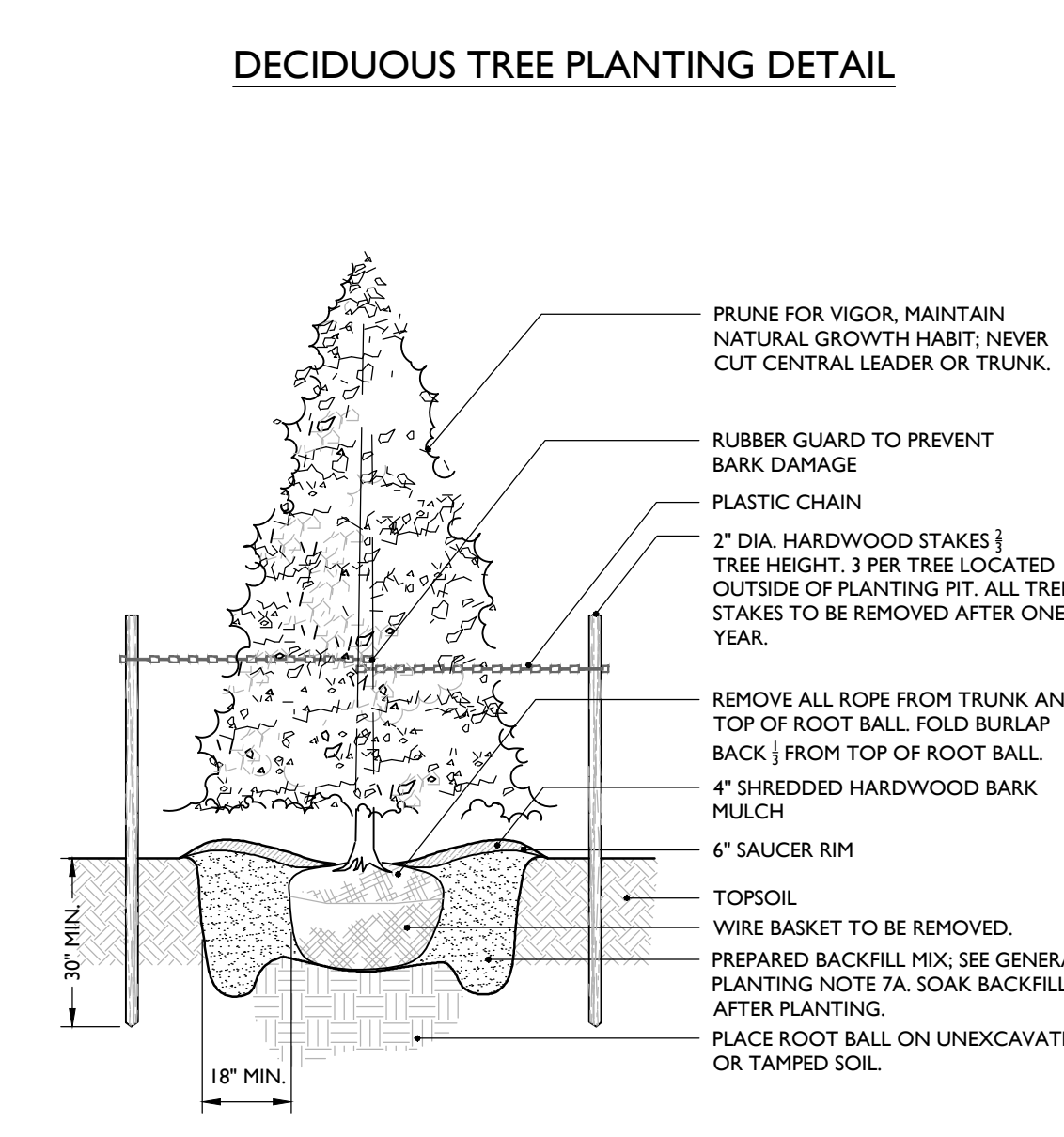
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

ORNAMENTAL GRASS PLANTING DETAIL

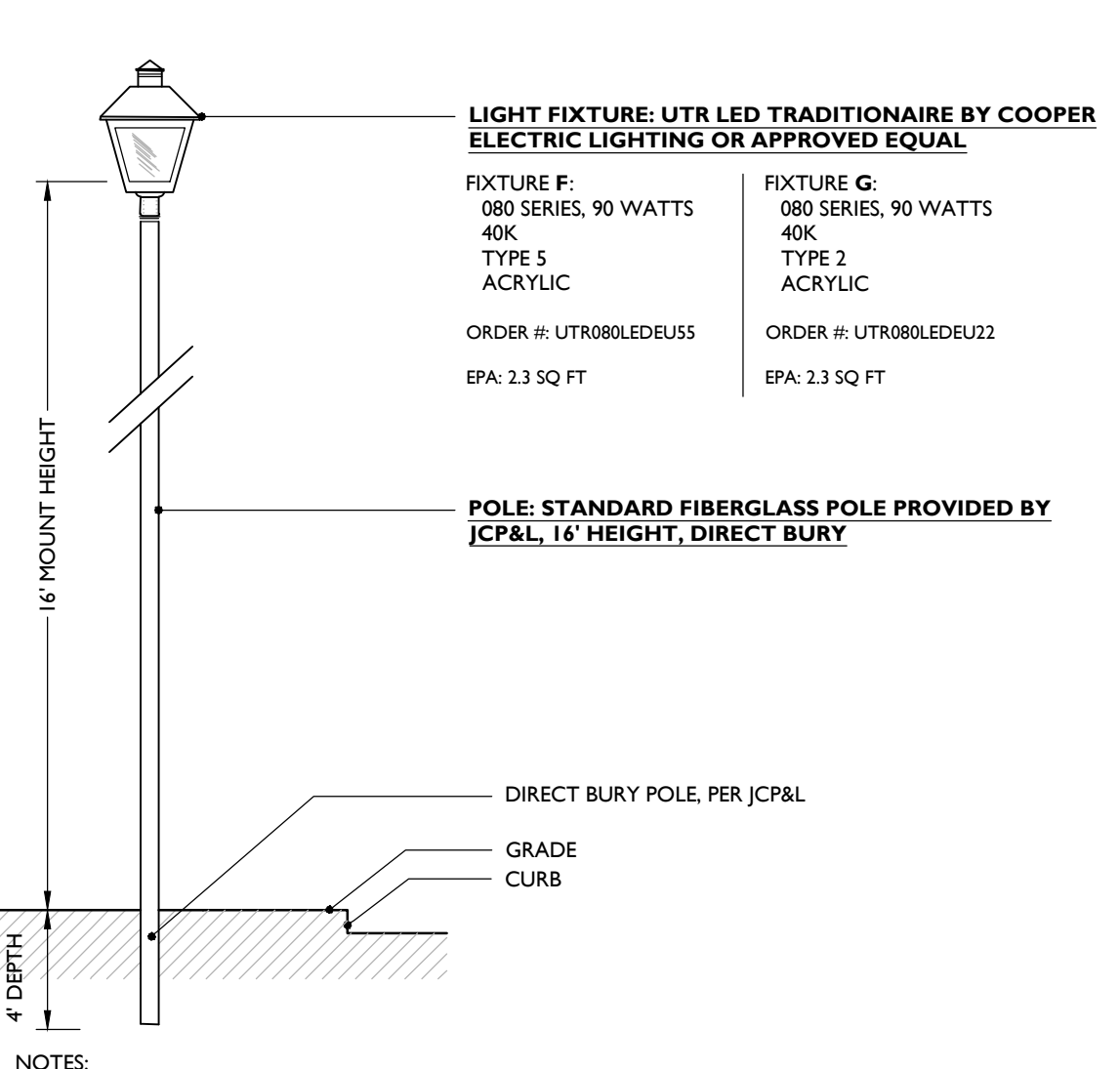


- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

DECIDUOUS TREE PLANTING DETAIL



- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



Streetworks

DESCRIPTION: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

ORDERING INFORMATION: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

ORDERING CODE: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

REFERENCES: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

OPTIONS: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

DISTRIBUTION: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

CTRY: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

WATT: UTR LED TRADITIONAIRE BY COOPER ELECTRIC LIGHTING OR APPROVED EQUAL

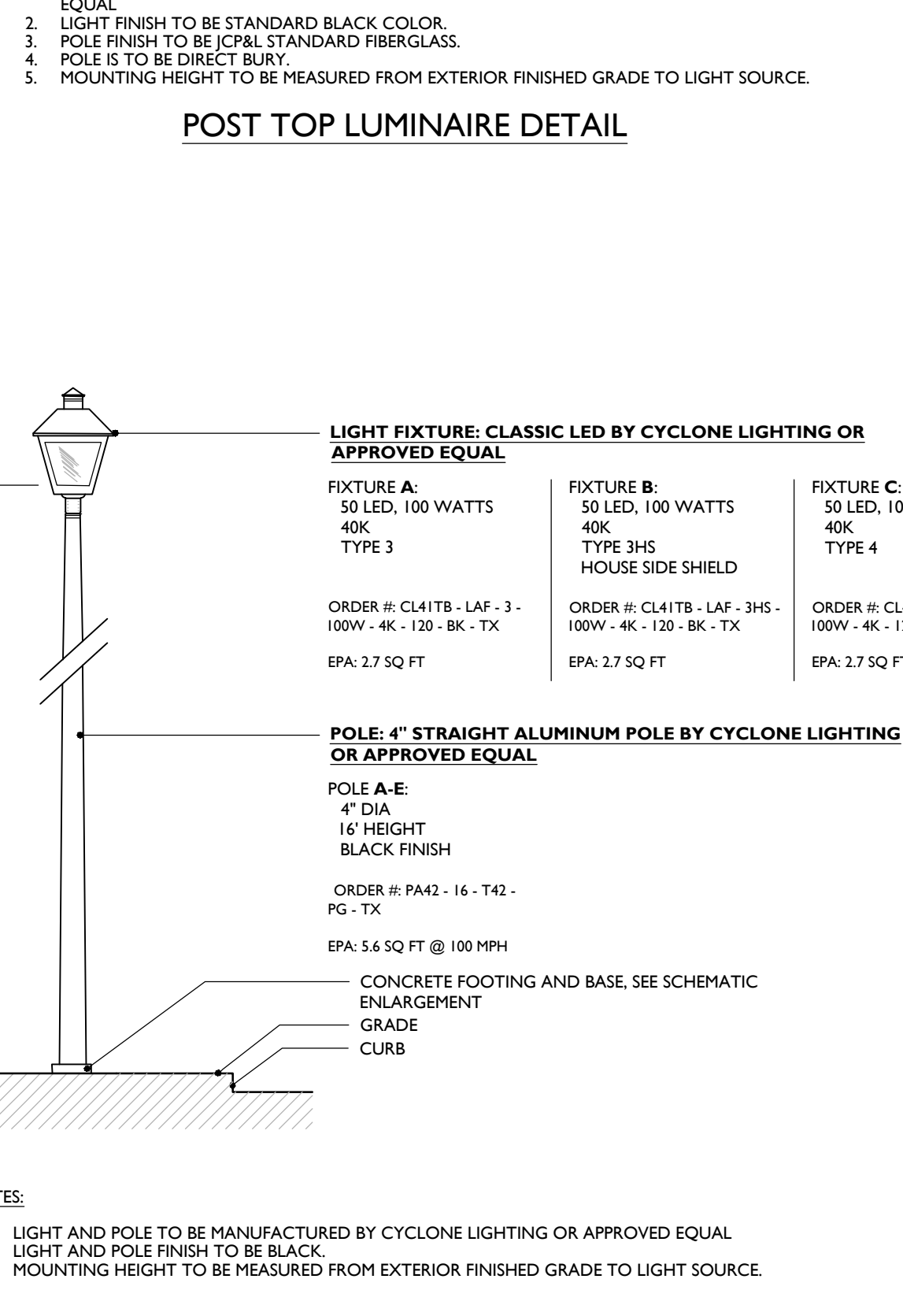
FIXTURE A: 50 LED, 100 WATTS 40K TYPE 3 HOUSE SIDE SHIELD
ORDER #: CL41T4-LAF-3-100W-4K-120-8K-TX EPA: 2.7 SQ FT

FIXTURE B: 50 LED, 100 WATTS 40K TYPE 3 HOUSE SIDE SHIELD
ORDER #: CL41T4-LAF-3HS-100W-4K-120-8K-TX EPA: 2.7 SQ FT

FIXTURE C: 50 LED, 100 WATTS 40K TYPE 4
ORDER #: CL41T4-LAF-4-100W-4K-120-8K-TX EPA: 2.7 SQ FT

FIXTURE D: 50 LED, 100 WATTS 40K TYPE 4HS HOUSE SIDE SHIELD
ORDER #: CL41T4-LAF-4HS-100W-4K-120-8K-TX EPA: 2.7 SQ FT

FIXTURE E: 50 LED, 100 WATTS 40K TYPE 4HS HOUSE SIDE SHIELD
ORDER #: CL41T4-LAF-4HS-100W-4K-120-8K-TX EPA: 2.7 SQ FT



POST TOP LUMINAIRE DETAIL

Post-Top CL41T4A/CL41T4B/CL41T4C

Ordering Template

MODEL	LENS	DRSL	WATT	CCY	VOLTY	FILTER	OPTIONS	COLOR	TEXTURE	OP.FIN.
CL41T4A	LAF	2	20W	3K	120	NONE	NONE	BK	TX	MG
CL41T4B	LAF	3	20W	3K	120	NONE	NONE	BK	TX	MG
CL41T4C	LAF	4	20W	3K	120	NONE	NONE	BK	TX	MG

ONLY ONE OF THESE OPTIONS CAN BE CHOSEN
ONLY AVAILABLE WITH CL41T4B
TYPE 3 ONLY

References

LENS: LAF - LENS ACRYLIC CLEAR
LAF - LENS ACRYLIC CLEAR
LAF - LENS ACRYLIC CLEAR

DRSL: DRSL - DIFFUSOR CLEAR
DRSL - DIFFUSOR CLEAR
DRSL - DIFFUSOR CLEAR

WATT: WATT - WATTAGE
WATT - WATTAGE
WATT - WATTAGE

CCY: CCY - CIRCULAR CUT OFF
CCY - CIRCULAR CUT OFF
CCY - CIRCULAR CUT OFF

VOLTY: VOLTY - VOLTAGE
VOLTY - VOLTAGE
VOLTY - VOLTAGE

FILTER: FILTER - FILTER
FILTER - FILTER
FILTER - FILTER

COLOR: COLOR - COLOR
COLOR - COLOR
COLOR - COLOR

TEXTURE: TEXTURE - TEXTURE
TEXTURE - TEXTURE
TEXTURE - TEXTURE

OP.FIN.: OP.FIN. - OPTIONAL FINISH
OP.FIN. - OPTIONAL FINISH
OP.FIN. - OPTIONAL FINISH

Luminaire

CL41T4A
CL41T4B
CL41T4C

Galaxy LED ENGINE

The Galaxy Light engine unit is a custom designed, modular system that combines state-of-the-art optics, LEDs and thermal management and is rigorously tested to ensure high performance and long life.

ROBUST DESIGN

- Shielded IP68
- Modular aluminum LED board with acrylic optic
- Die cast aluminum alloy heat sink with thermal interface
- Heat sink designed and tested for optimal thermal management performance in all weather from -40C/-40F to 50C/122F
- High-power LEDs with thermal and electric protection for stability and protects it from electrical surge

PERFORMANCE DRIVEN

- Modular design allows the GALAXY wattages ranging from 50 to 100W
- Equivalent to 50-100W HID with 50% energy saving
- GALAXY engines are tested & designed for a lifespan of over 100,000 hours
- GALAXY engines are tested & designed to meet or exceed all applicable regulatory standards
- Tested according to IATF standard by recognized NVLAP independent laboratories

IES Distribution types

Cyclone Lighting offers optically engineered performance systems based on a series of acrylic injection molded lens of IES Roadway distribution types giving you the performance of a cobra head in a sleek decorative fixture.

Type 2 Type 3 Type 3M Type 4 Type 5

House Side Shield option
The HOUSE SIDE SHIELD (HSS) gives you a better back control for those LED projects where light spill or light trespass are critical. This option can be added post installation.

Please consult website for latest IES files

CONCRETE FOOTING SCHEMATIC DETAIL FOR CYCLONE LIGHTING FIXTURES ONLY



- NOTES:
- FOOTING SHOWN IS SCHEMATIC ONLY.
 - SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR THE APPROVAL PRIOR TO CONSTRUCTION.
 - SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.
 - 3" HIGH CONCRETE FOOTING TO BE USED ON FIXTURES SHOWN ON PLAN DENOTED WITH 'H'.

EVERGREEN TREE PLANTING DETAIL



- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

MASER CONSULTING P.A.

Customer Loyalty through Client Satisfaction
www.maserconsulting.com

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- PENNSYLVANIA
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- MARYLAND
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- TEXAS
- TENNESSEE
- COLORADO

State of N.J. C.O.A.: 24GA27986500

811

PROTECT YOURSELF

Call before you dig. ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DIGGER, OR ANY PERSON PREPARING TO DIG THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

NO.	DATE	DRAWN BY	DESCRIPTION
1	5/14/20	J. LIOTTA	REVISED PER CHE ASSOCIATES TECHNICAL ENGINEERING REVIEW LETTER DATED 07/19

RAYMOND C. LIOTTA
LANDSCAPE ARCHITECT - LICENSE NUMBER: A500036

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE

BLOCK 175, BLOCK 10.01

BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY
NEW JERSEY

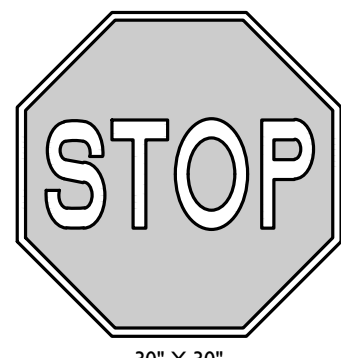
RED BANK OFFICE
Corporate Headquarters
331 Newtown Springs Road
Suite 203
Red Bank, NJ 07071
Phone: 732.383.1950
Fax: 732.383.1984

SCALE: AS SHOWN
PROJECT NUMBER: 0000661C
DATE: 4/24/2020
DRAWING NAME: CL-LAND

LANDSCAPE PLAN

19 of 25

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



R1-1 SIGN DETAIL

NOT TO SCALE MCNJ-SITE-SIGN-1000 05/01/17



R3-1 SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-1200 07/01/19



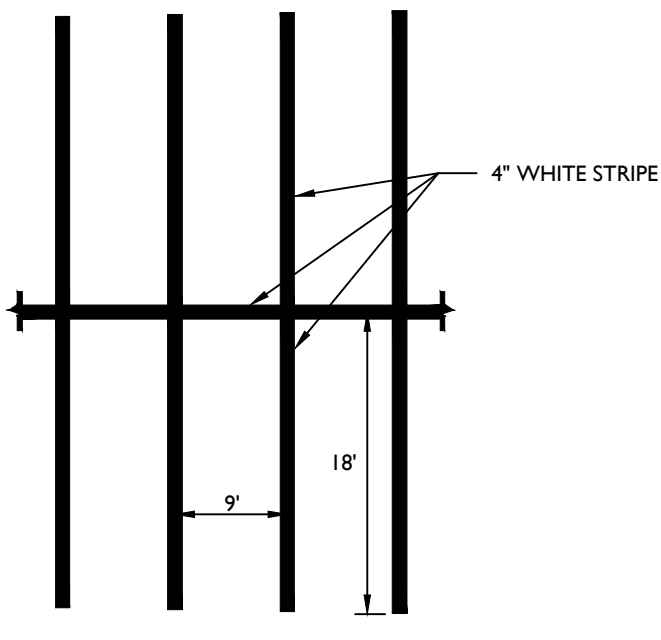
R6-1L SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-1500 07/01/19



R3-2 SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-1201 01/01/20



TYPICAL PARKING STALL DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1000 05/01/17



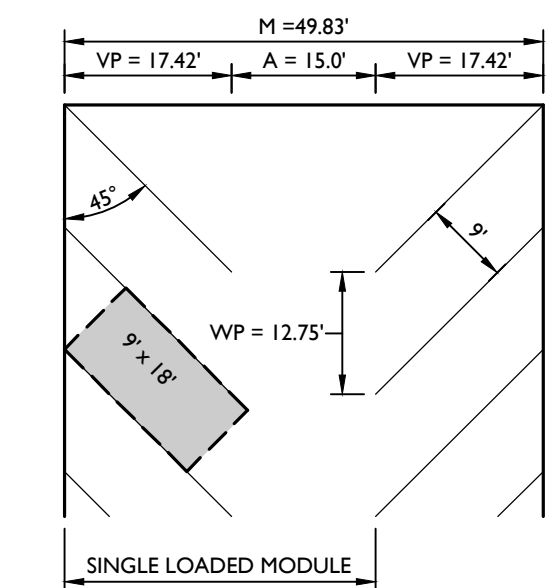
R4-7 SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-1304 07/01/19



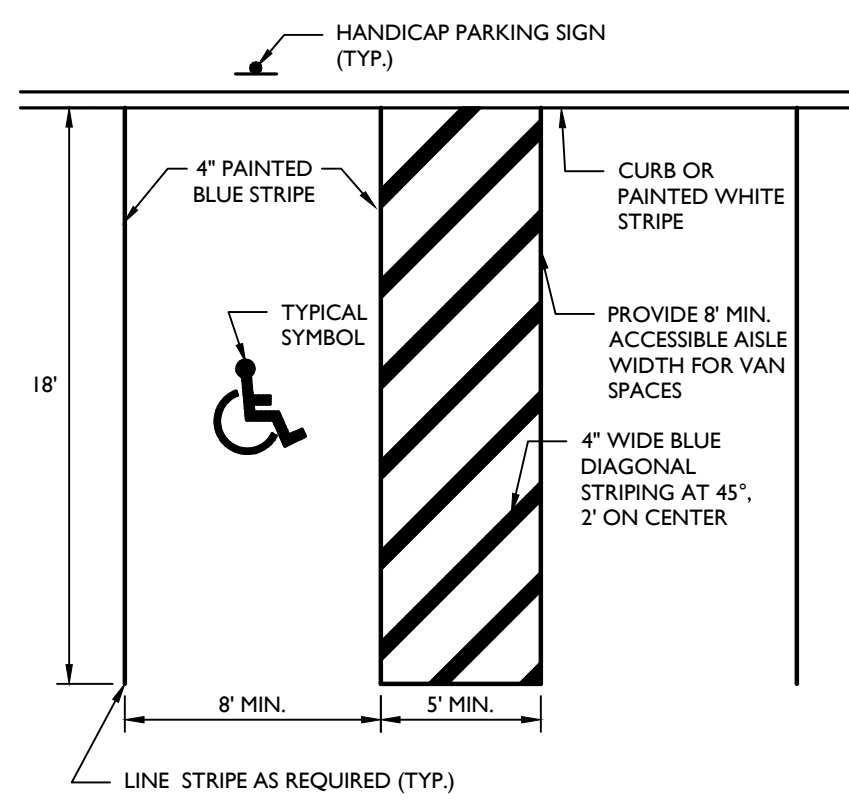
R5-1 SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-1400 07/01/19



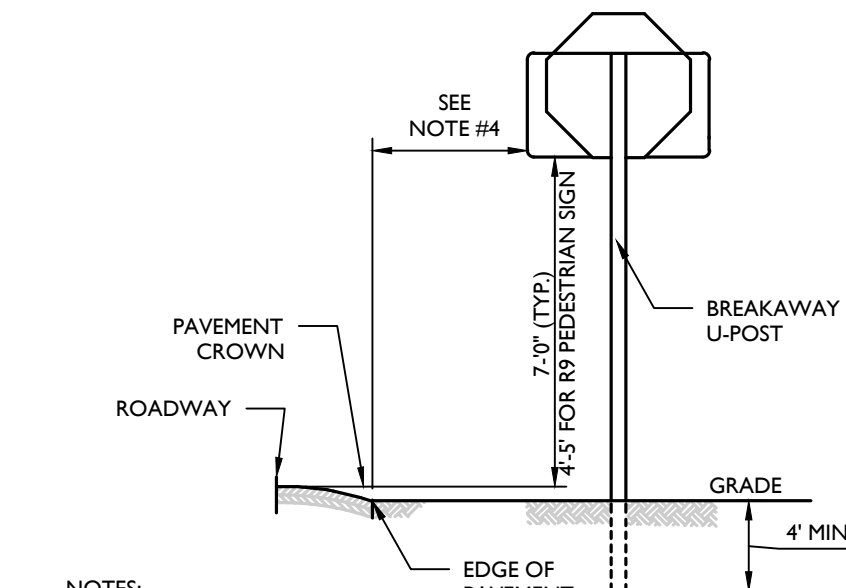
45° ANGLED PARKING DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1004 07/01/19



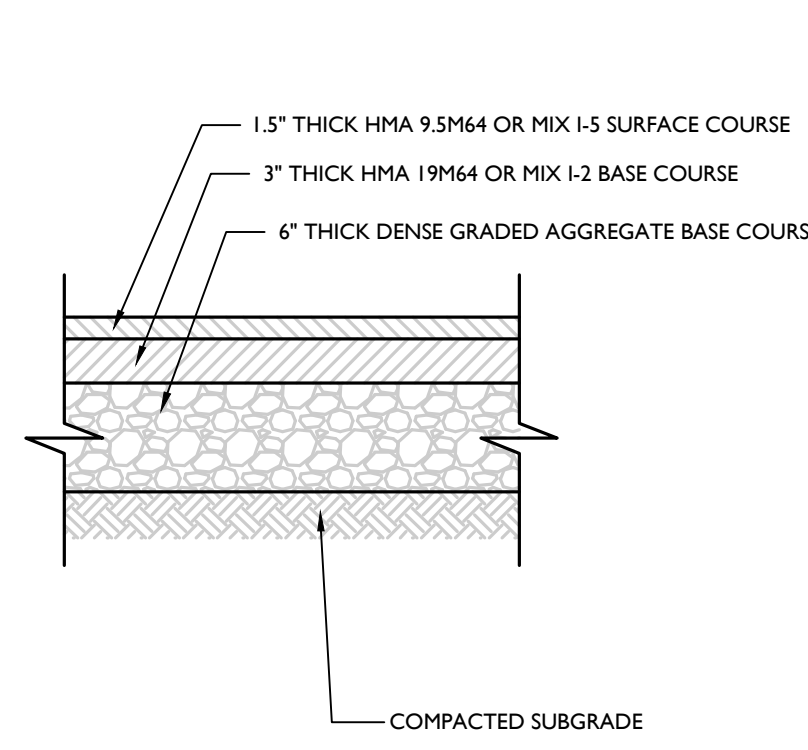
ACCESSIBLE PARKING LINE STRIPE STALL DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1801 03/01/18



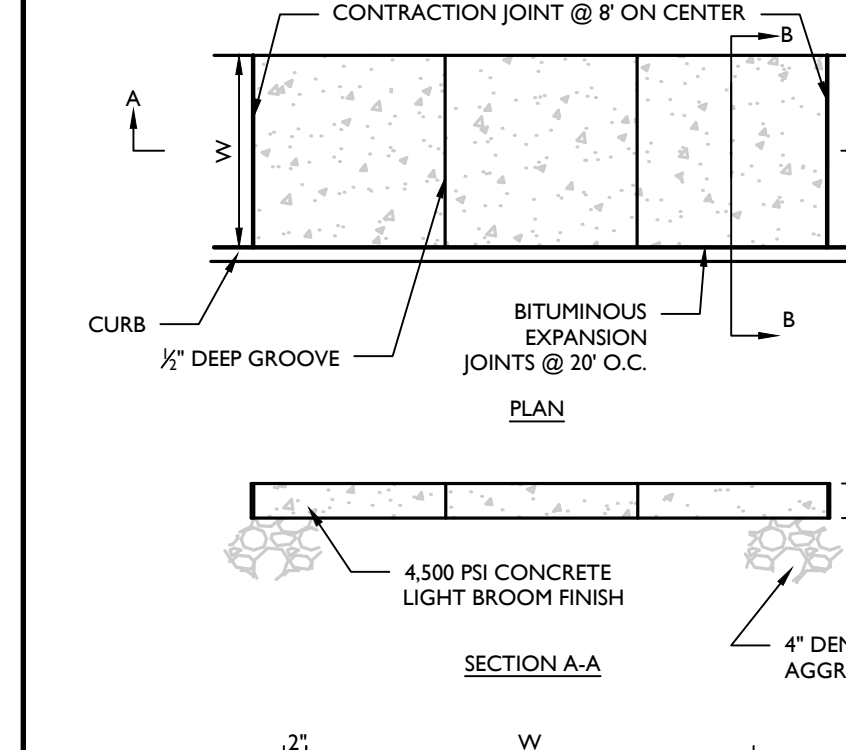
ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-6000 07/01/19



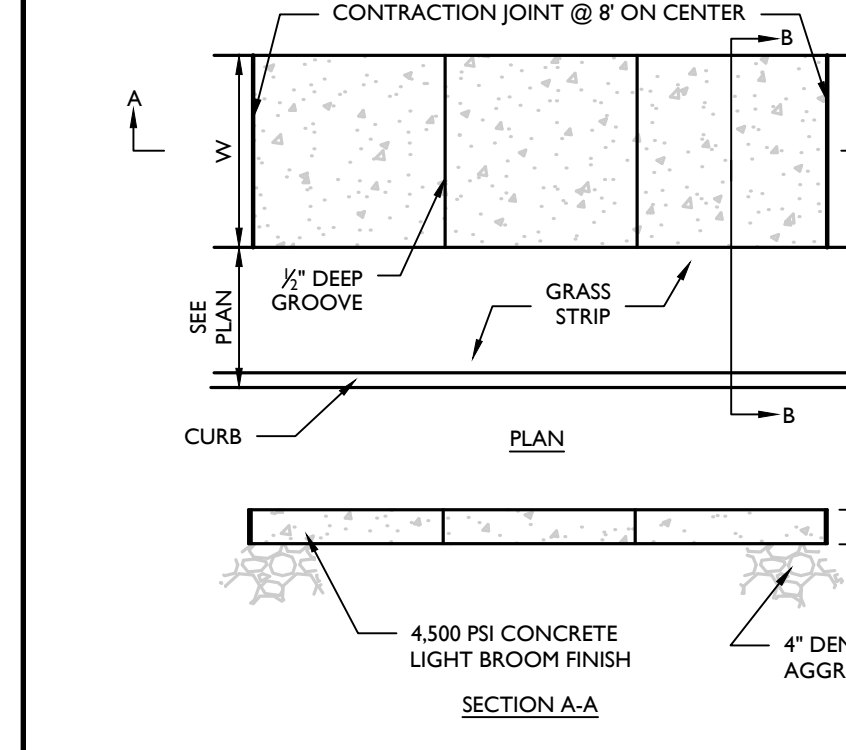
ASPHALT PAVEMENT DETAIL (RSIS- GOOD OR EXCELLENT SUBGRADE)

NOT TO SCALE MCNJ-SITE-PMVT-1000 07/01/17



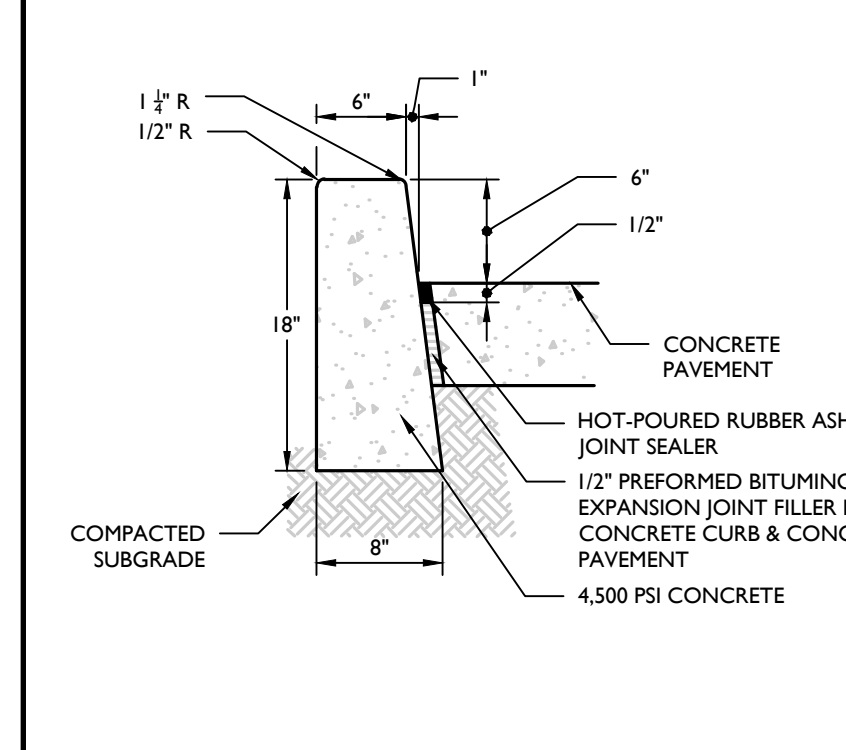
CONCRETE SIDEWALK (NEXT TO CURB) DETAIL

NOT TO SCALE MCNJ-SITE-PMVT-2000 05/01/17



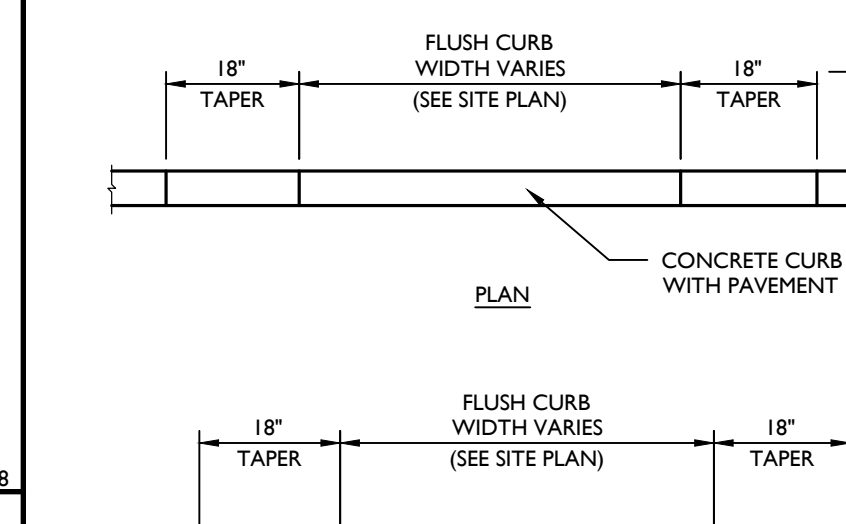
CONCRETE SIDEWALK (NEXT TO GRASS) DETAIL

NOT TO SCALE MCNJ-SITE-PMVT-2001 05/01/17



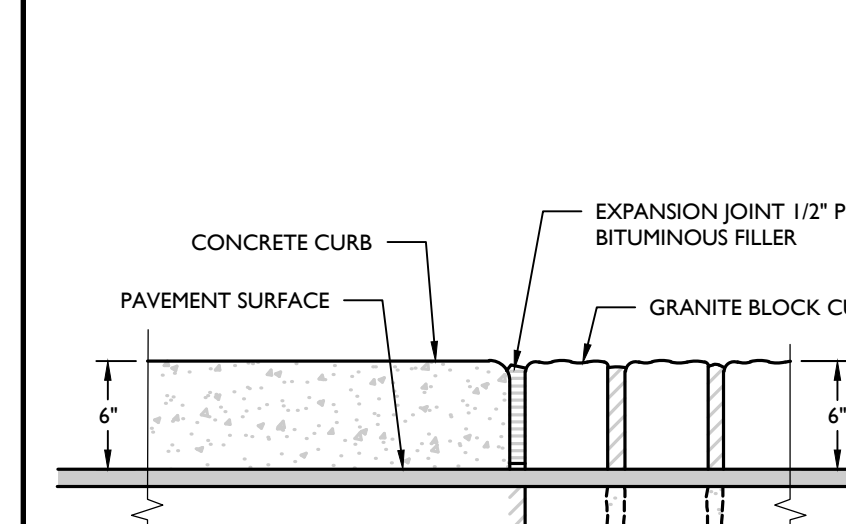
CONCRETE CURB (CONCRETE PAVEMENT) DETAIL

NOT TO SCALE MCNJ-SITE-CURB-1001 05/01/17



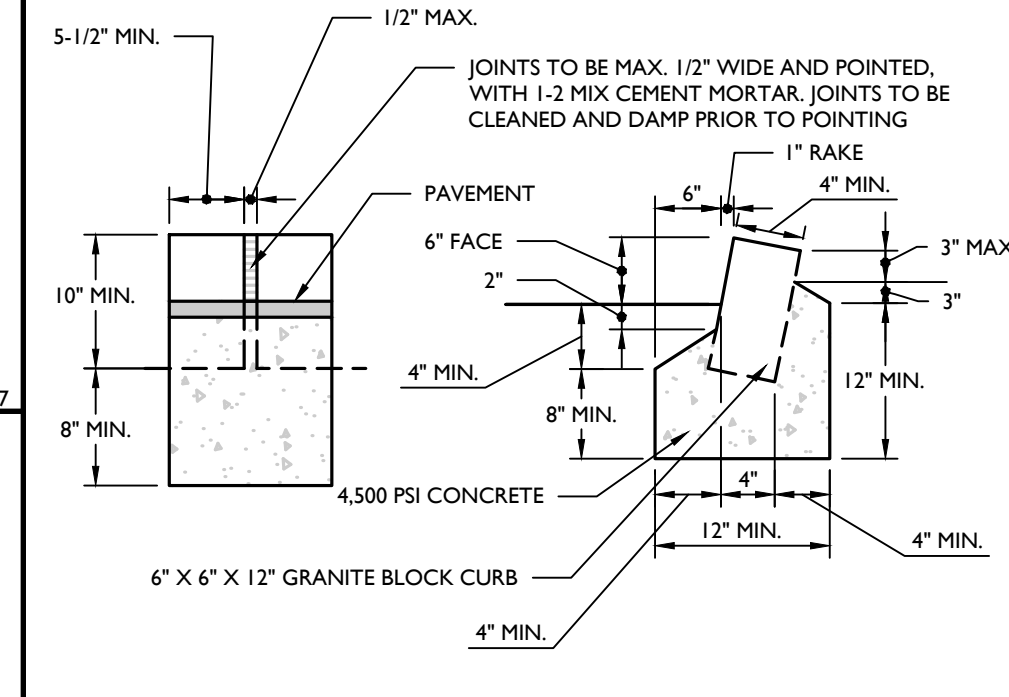
CONCRETE FLUSH CURB DETAIL

NOT TO SCALE MCNJ-SITE-CURB-1400 05/01/17



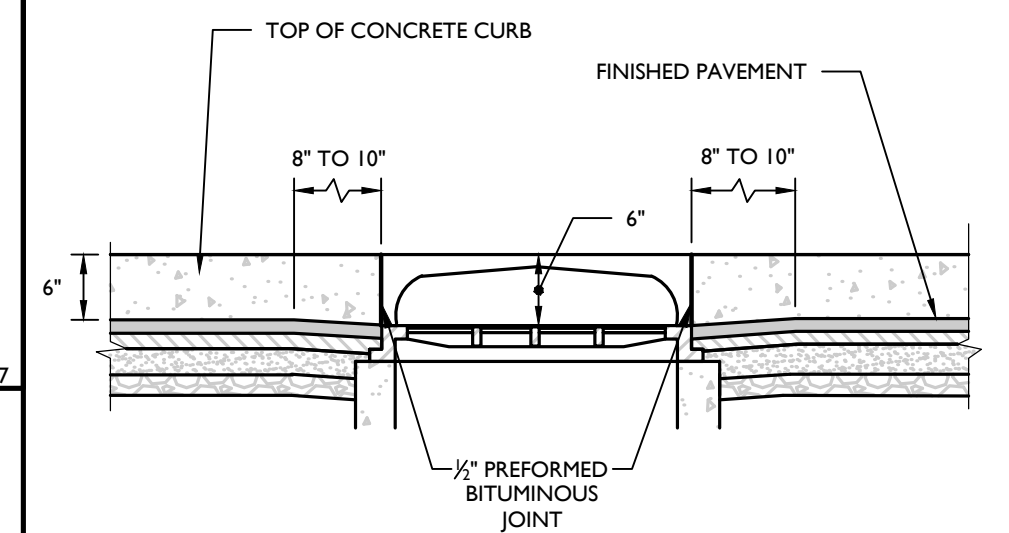
TRANSITION BETWEEN GRANITE BLOCK & CONCRETE DETAIL

NOT TO SCALE MCNJ-SITE-CURB-1900 05/01/17



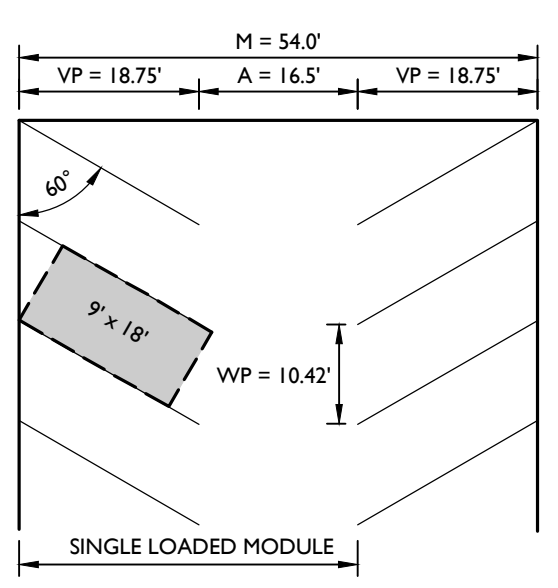
GRANITE BLOCK CURB (RSIS) DETAIL

NOT TO SCALE MCNJ-SITE-CURB-1200 02/01/19



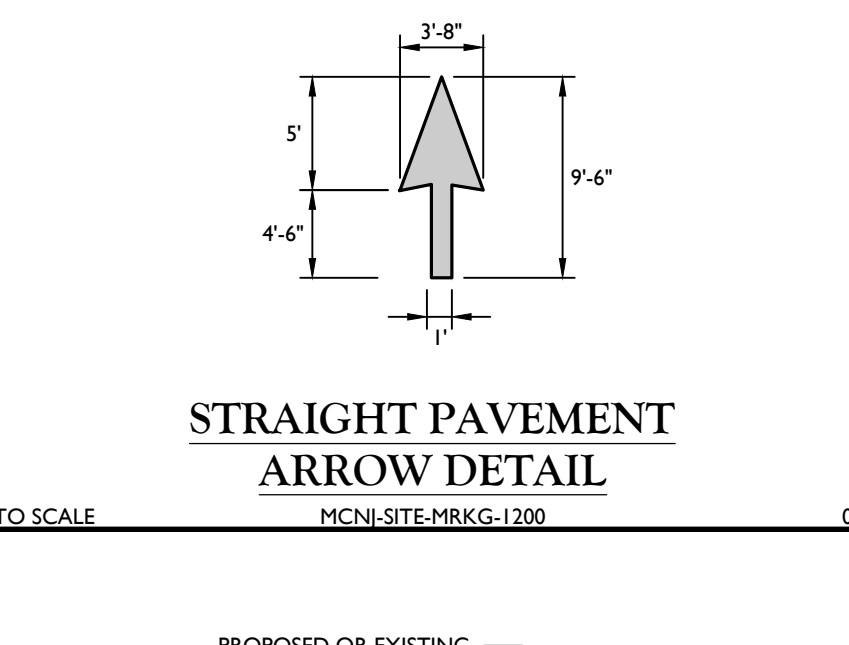
DEPRESSED TYPE 'B' INLET CONCRETE CURB TRANSITION DETAIL

NOT TO SCALE MCNJ-SITE-CURB-2200 05/01/17



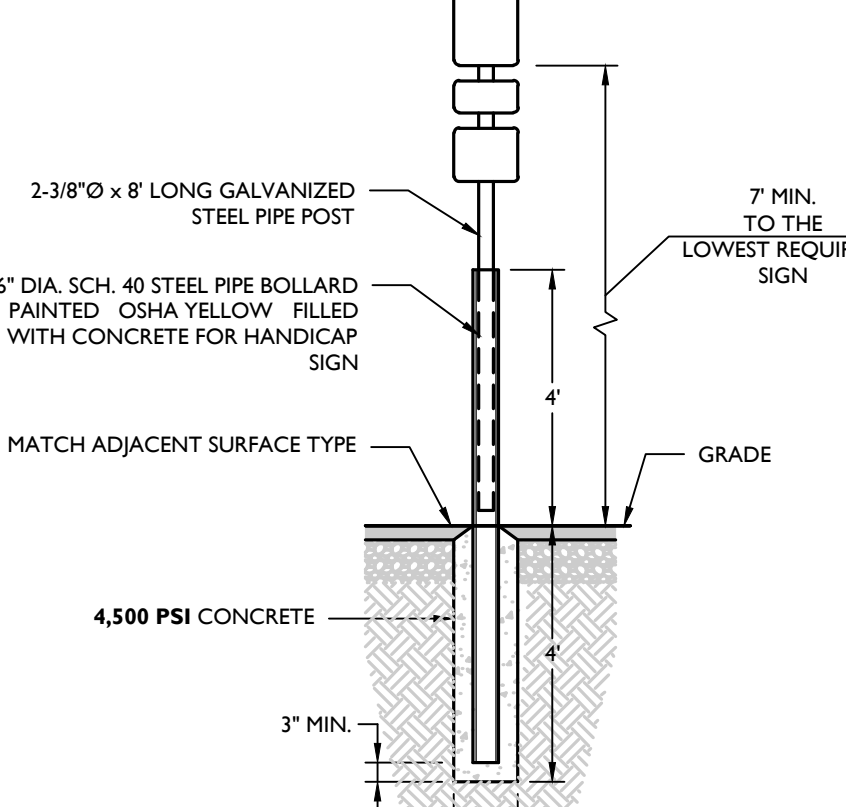
60° ANGLED PARKING DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1003 07/01/18



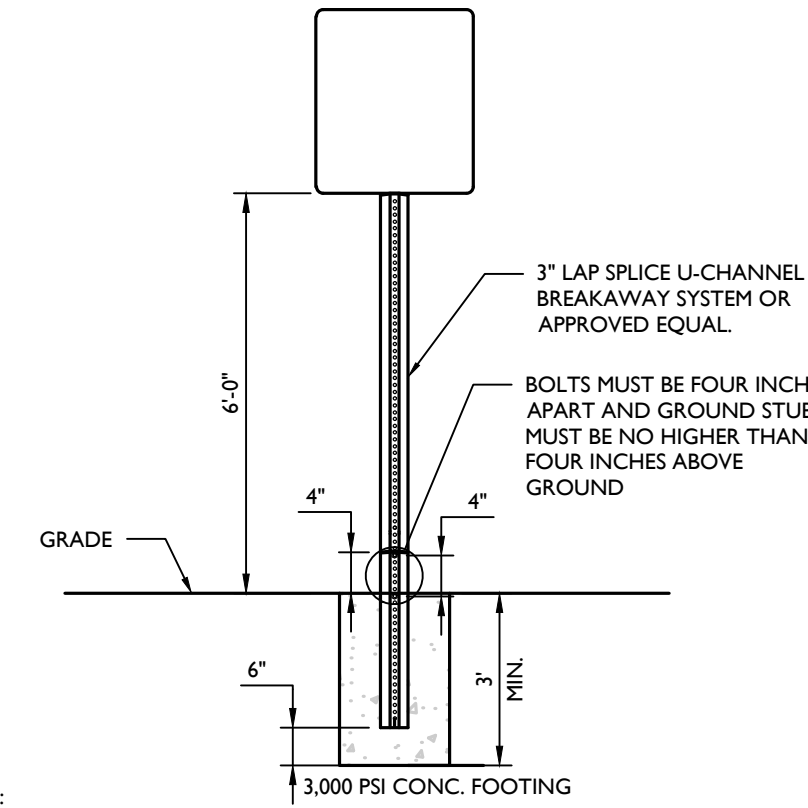
STRAIGHT PAVEMENT ARROW DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1200 05/01/17



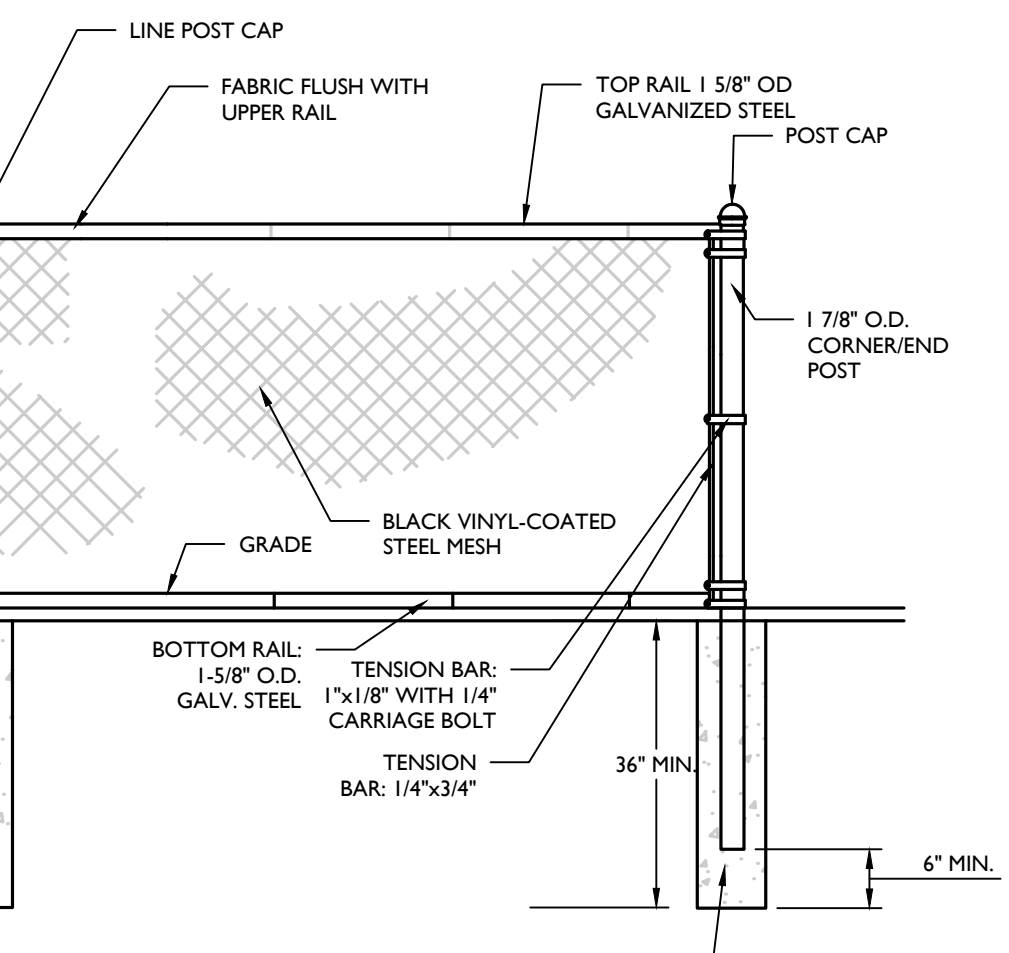
BOLLARD MOUNTED SIGN DETAIL

NOT TO SCALE MCCM-SITE-SIGN-6001 07/01/19



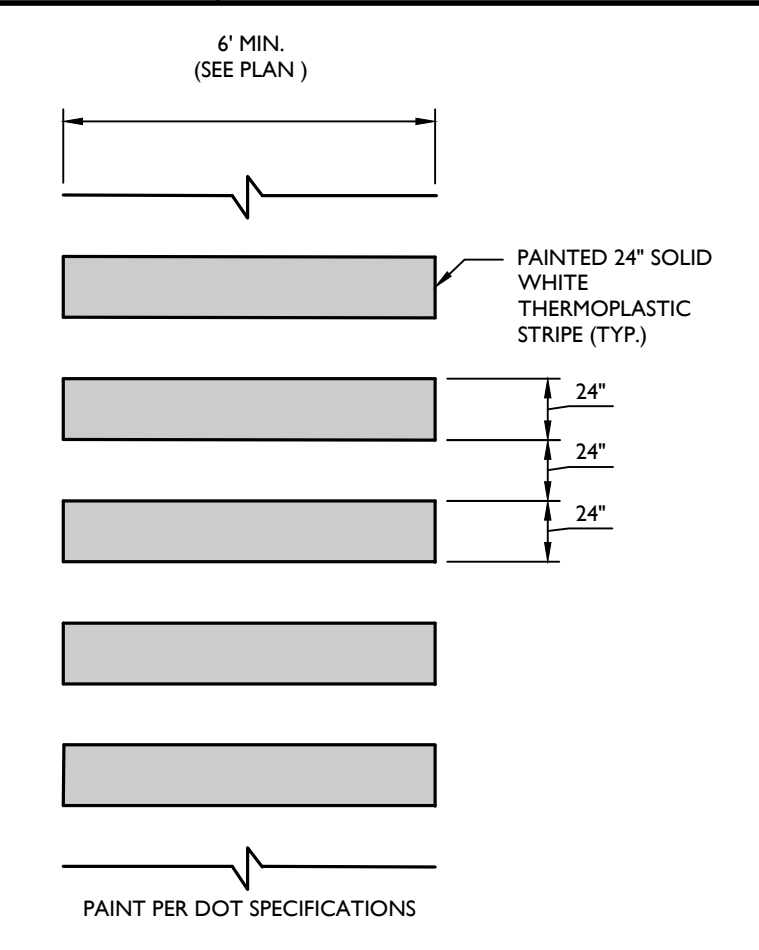
BREAKAWAY SIGN POST DETAIL

NOT TO SCALE MCCM-SITE-SIGN-6102 07/01/19



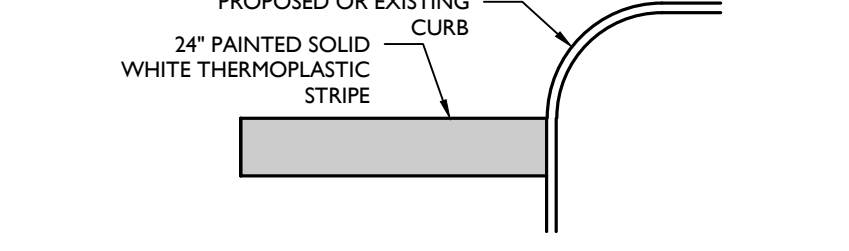
4' HIGH CHAIN LINK FENCE DETAIL

NOT TO SCALE MCNJ-SITE-FENCE-1201 02/01/19



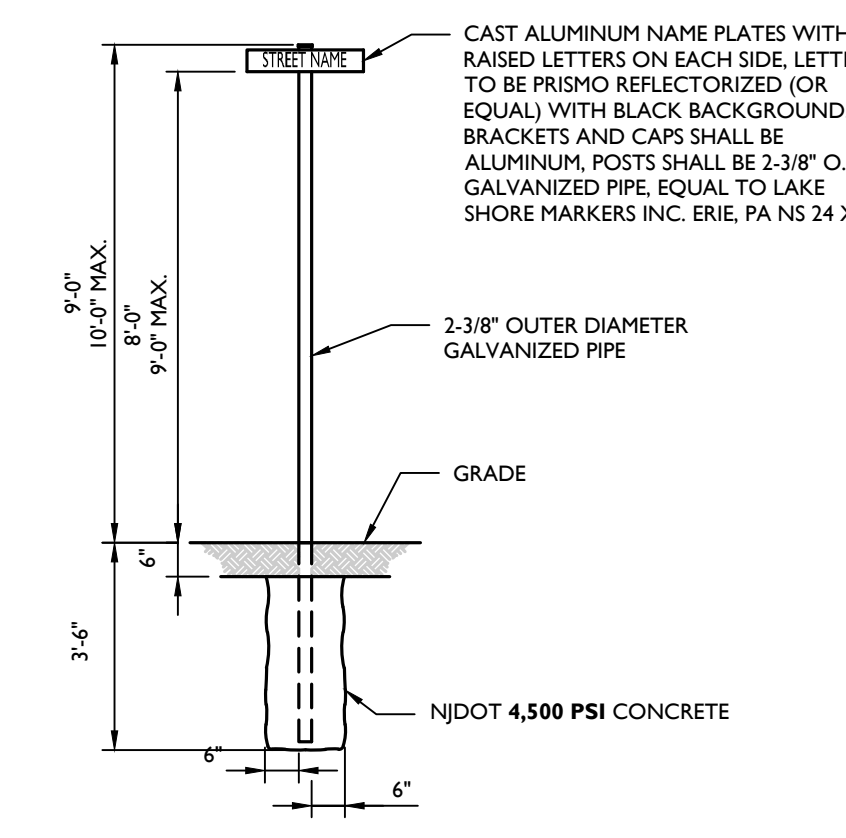
PEDESTRIAN CROSSWALK DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1401 05/01/17



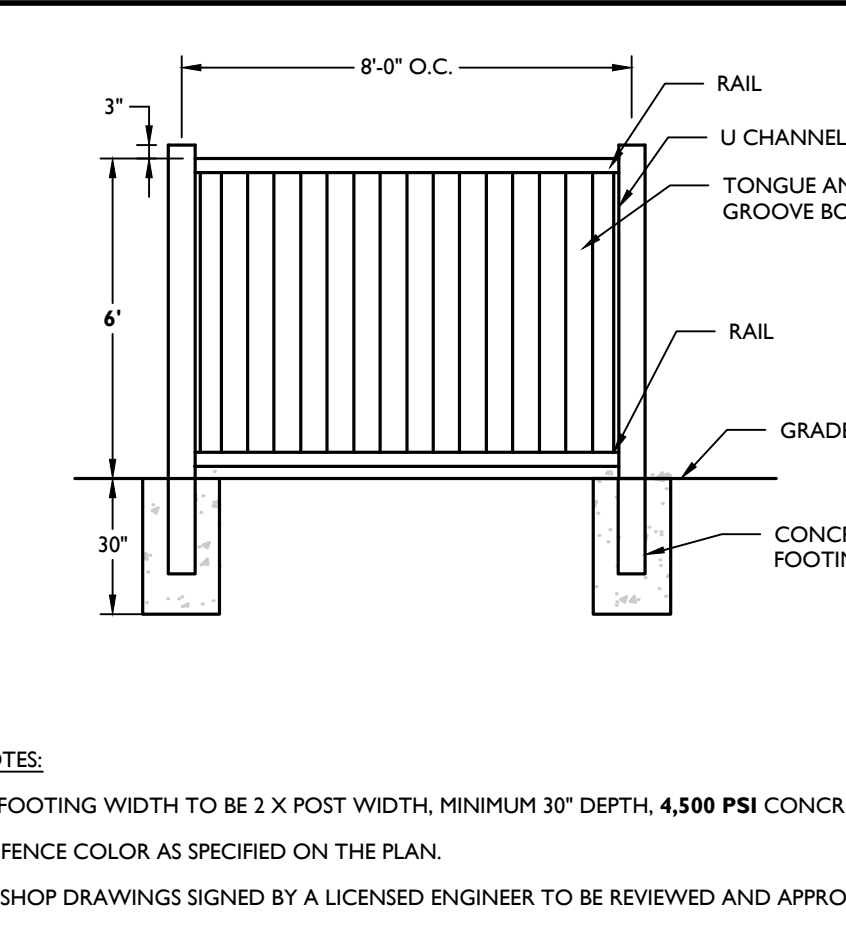
TYPICAL STOP BAR DETAIL

NOT TO SCALE MCNJ-SITE-MRKG-1100 05/01/17



STREET POST SIGN MOUNTING DETAIL

NOT TO SCALE MCCM-SITE-SIGN-6101 07/01/19



VINYL FENCE (6' HIGH) DETAIL

NOT TO SCALE MCNJ-SITE-FENCE-1402 02/01/19

MASER CONSULTING, P.A. logo and contact information including website and office locations.

Office Locations list for New Jersey, New York, Pennsylvania, Virginia, Florida, North Carolina, New Mexico, Georgia, Texas, Tennessee, and Colorado.

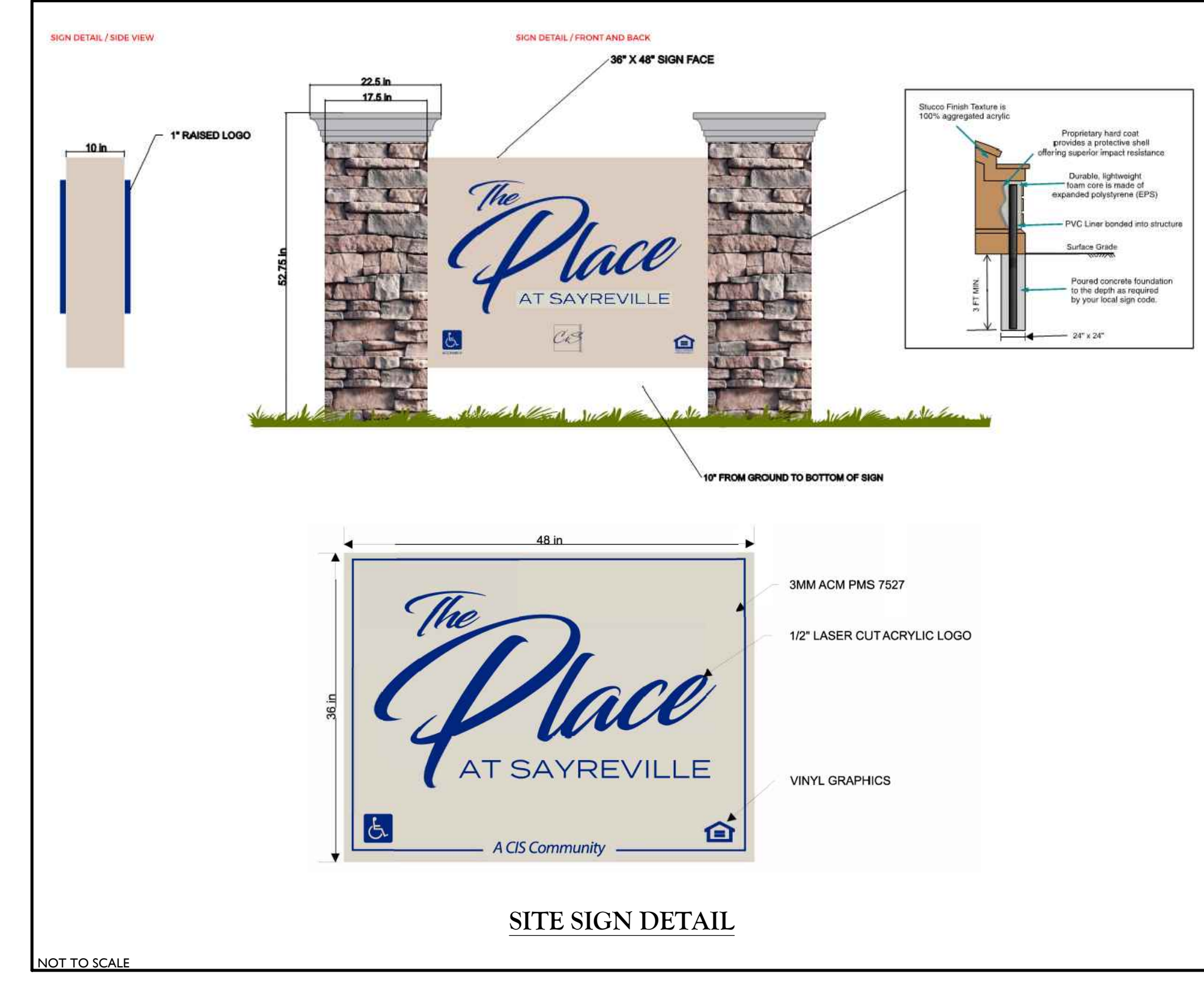
811 logo and text regarding utility marking and state requirements.

Table with columns for DATE, DRAWN BY, DESCRIPTION, REV, and DSS.

Table with columns for DATE, DRAWN BY, DESCRIPTION, REV, and DSS.

Table with columns for DATE, DRAWN BY, DESCRIPTION, REV, and DSS.

Table with columns for DATE, DRAWN BY, DESCRIPTION, REV, and DSS.



SITE SIGN DETAIL

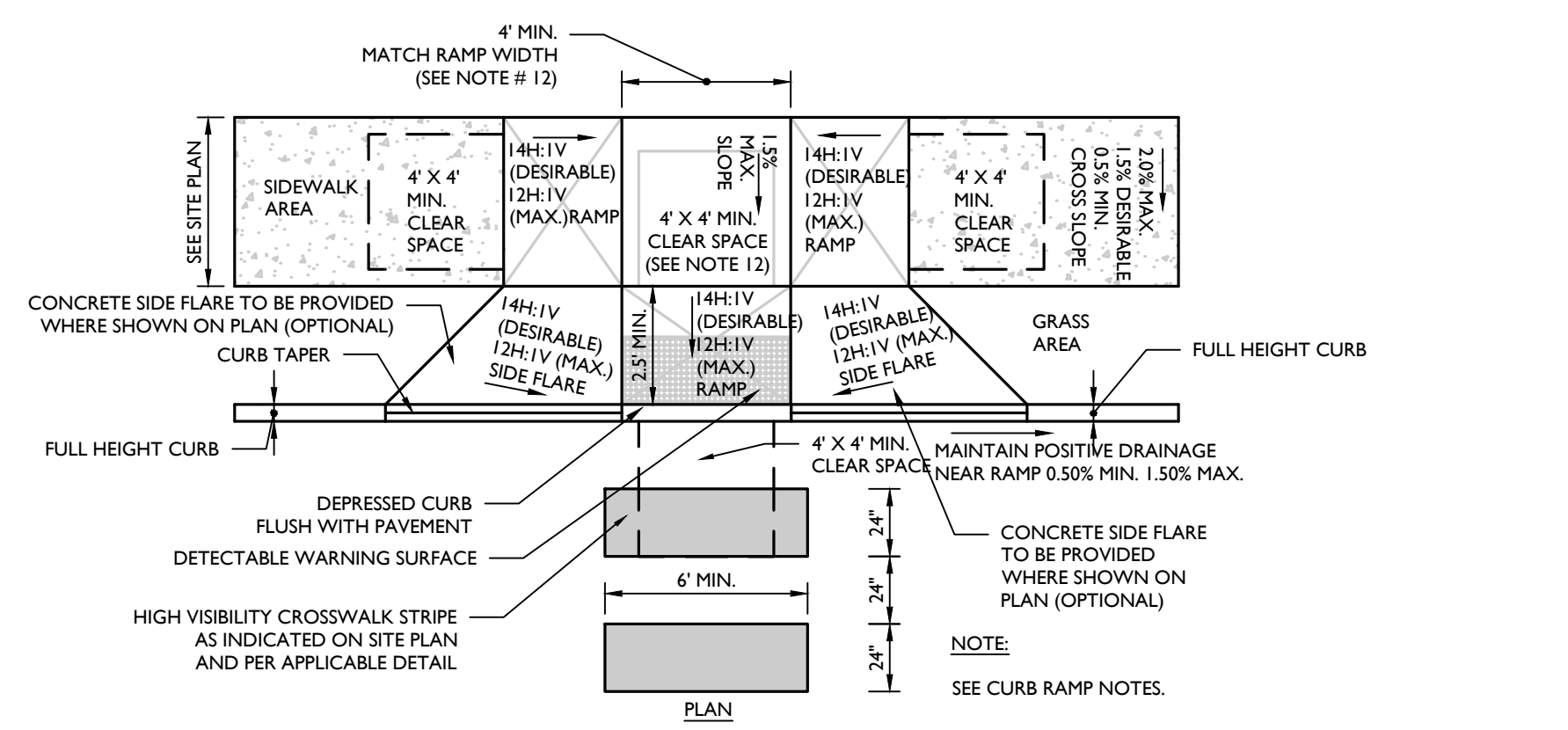
NOT TO SCALE

Daniel Sobieski logo and contact information for a professional engineer.

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE.

RED BANK OFFICE contact information for a bank branch.

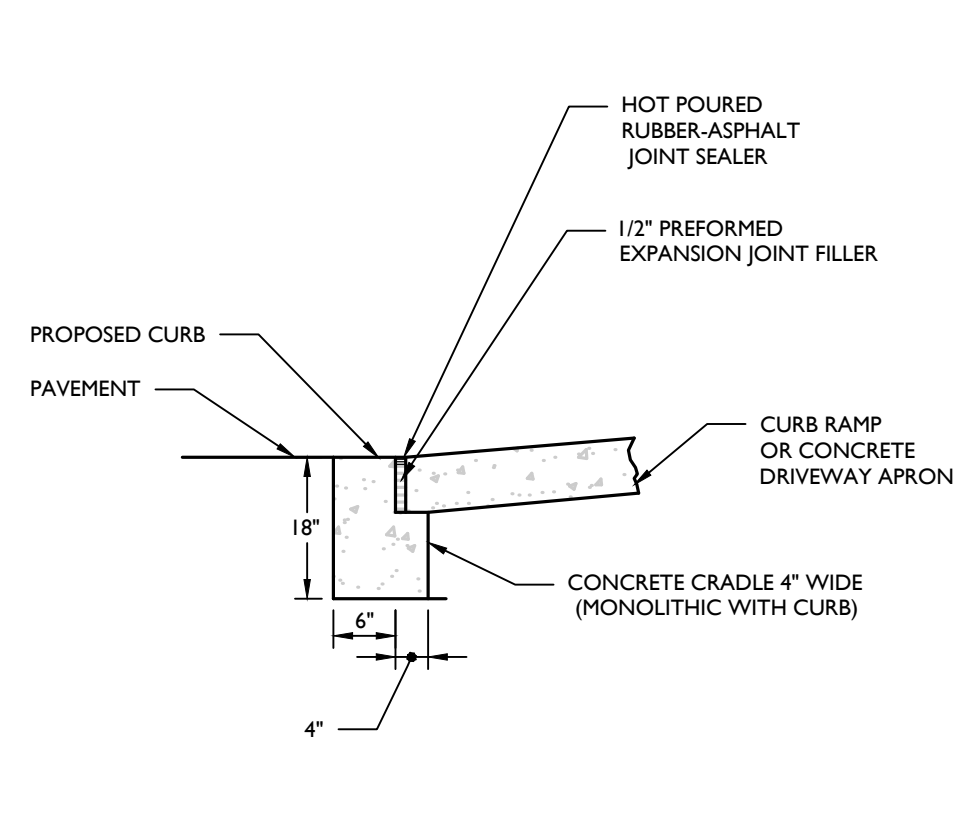
SCALE, DATE, DRAWN BY, CHECKED BY, PROJECT NUMBER, DRAWING NAME, and SHEET TITLE information.



CURB RAMP TYPE 4 DETAIL
MCNJ-SITE-HADA-1300

NOT TO SCALE

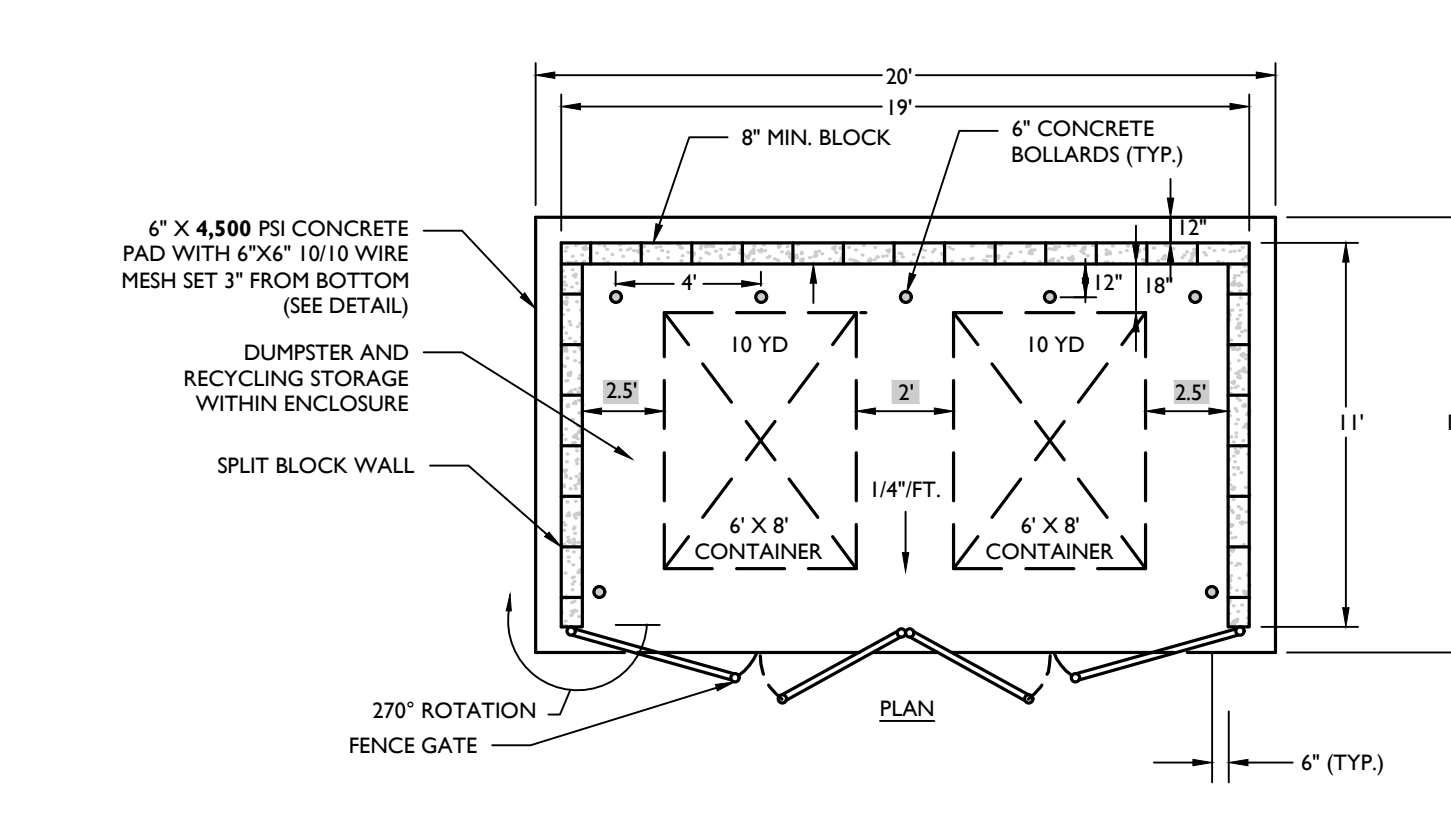
05/01/17



FLUSH CURB AND CRADLE DETAIL
MCNJ-SITE-HADA-2300

NOT TO SCALE

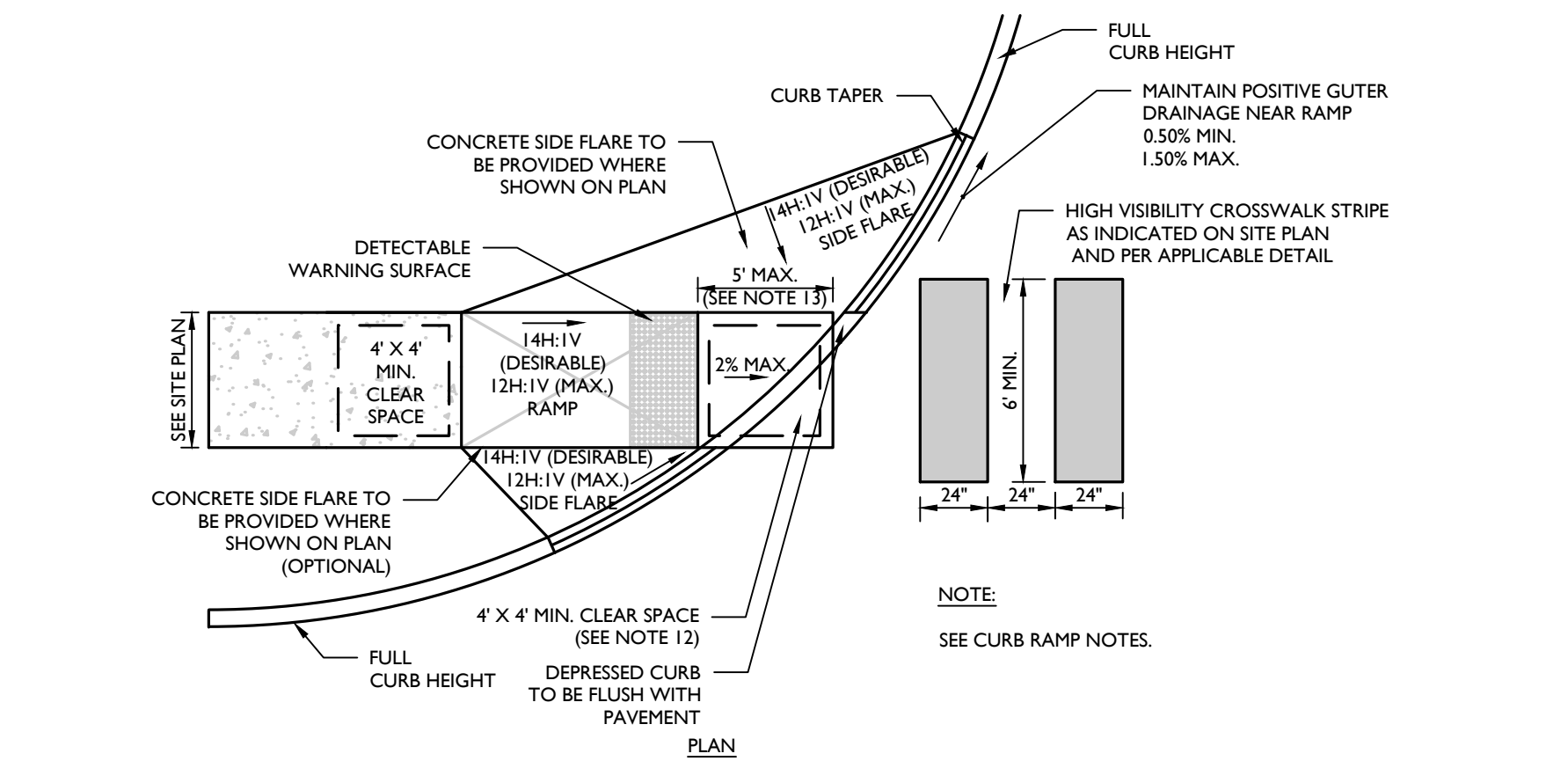
05/01/17



REFUSE/RECYCLING ENCLOSURE (WITH DOUBLE GATE) DETAIL
MCCM-SITE-FNCE-2300

NOT TO SCALE

07/01/19

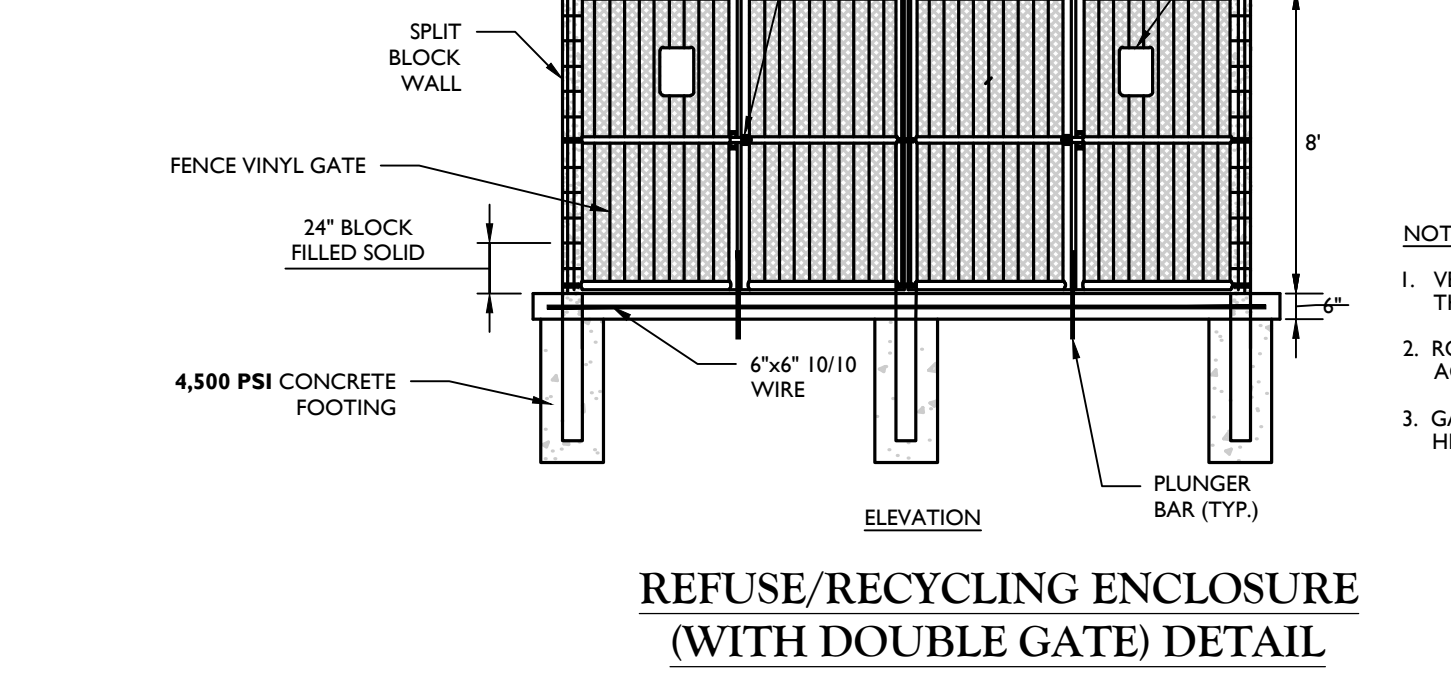


CURB RAMP TYPE 5 DETAIL
MCNJ-SITE-HADA-1400

NOT TO SCALE

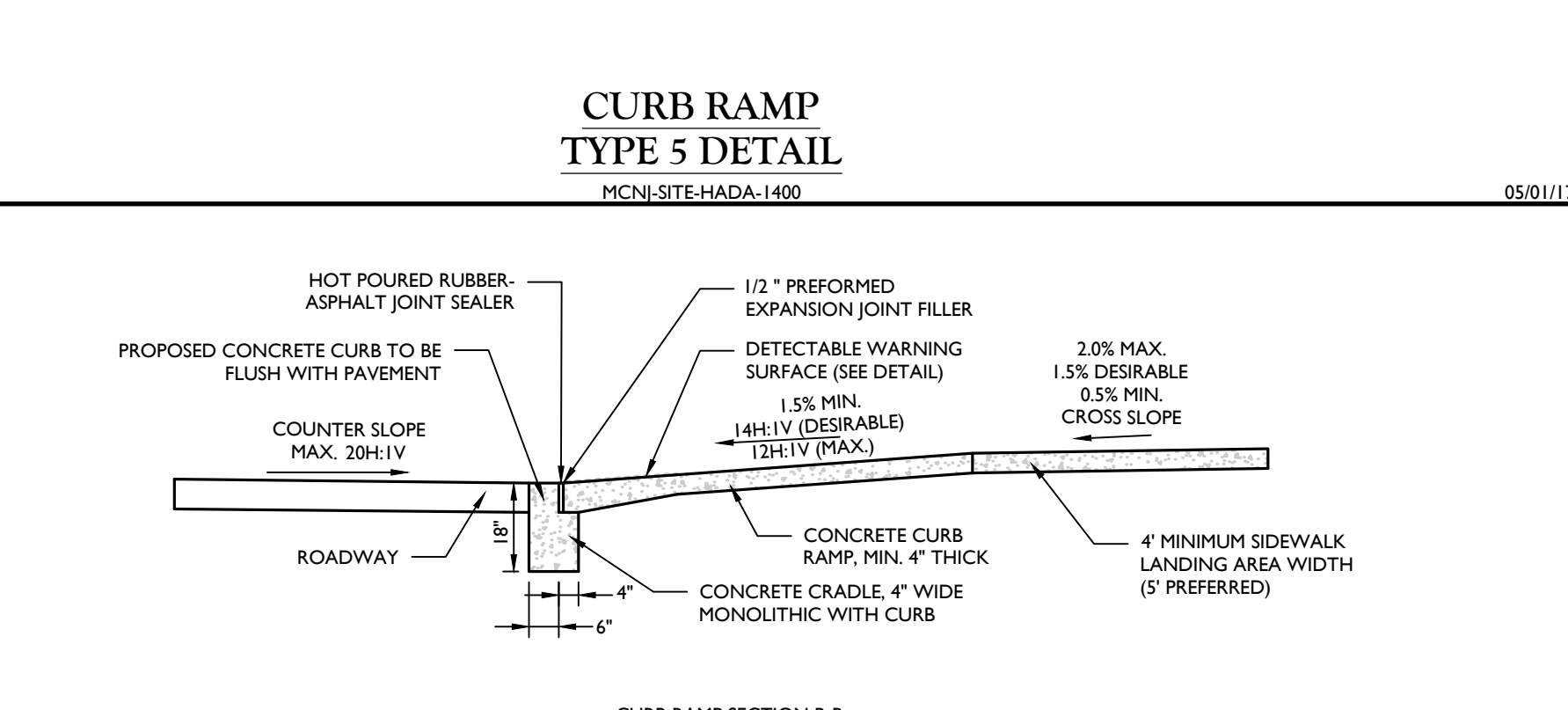
05/01/17

- NOTES:**
- CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 - LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 - CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT.
 - CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
 - MAXIMUM RAMP SLOPE MAY BE 12H:1V UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10H:1V UPON APPROVAL OF THE ENGINEER.
 - MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
 - ACCESSIBLE RAMPS SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
 - DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 - THE RAMP SURFACE SHALL HAVE A NON-SLIP, HAND BROOMED FINISH.
 - CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1/4\"/>



CURB RAMP NOTES
MCNJ-SITE-HADA-2500

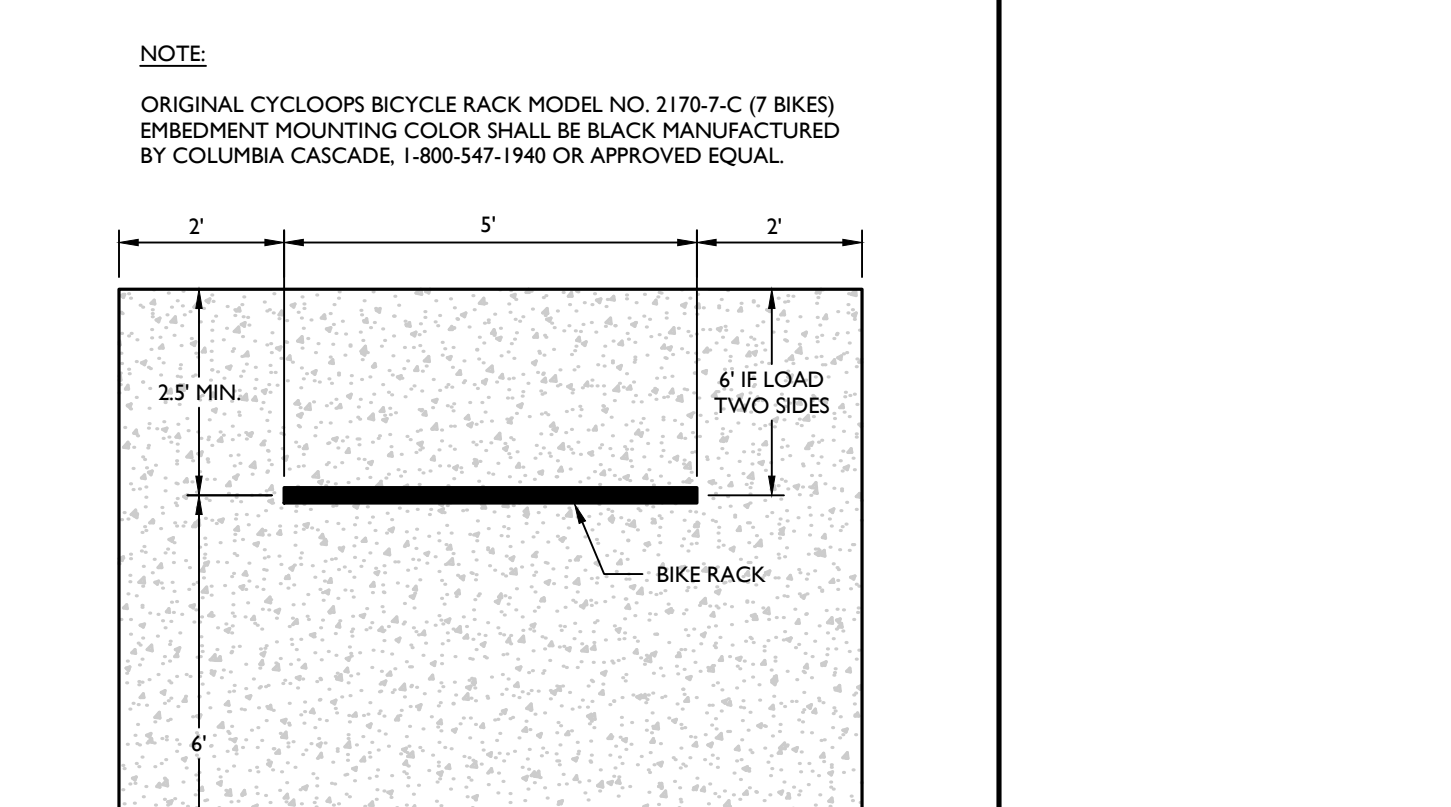
10/01/18



CURB RAMP SECTIONS DETAIL
MCNJ-SITE-HADA-2000

NOT TO SCALE

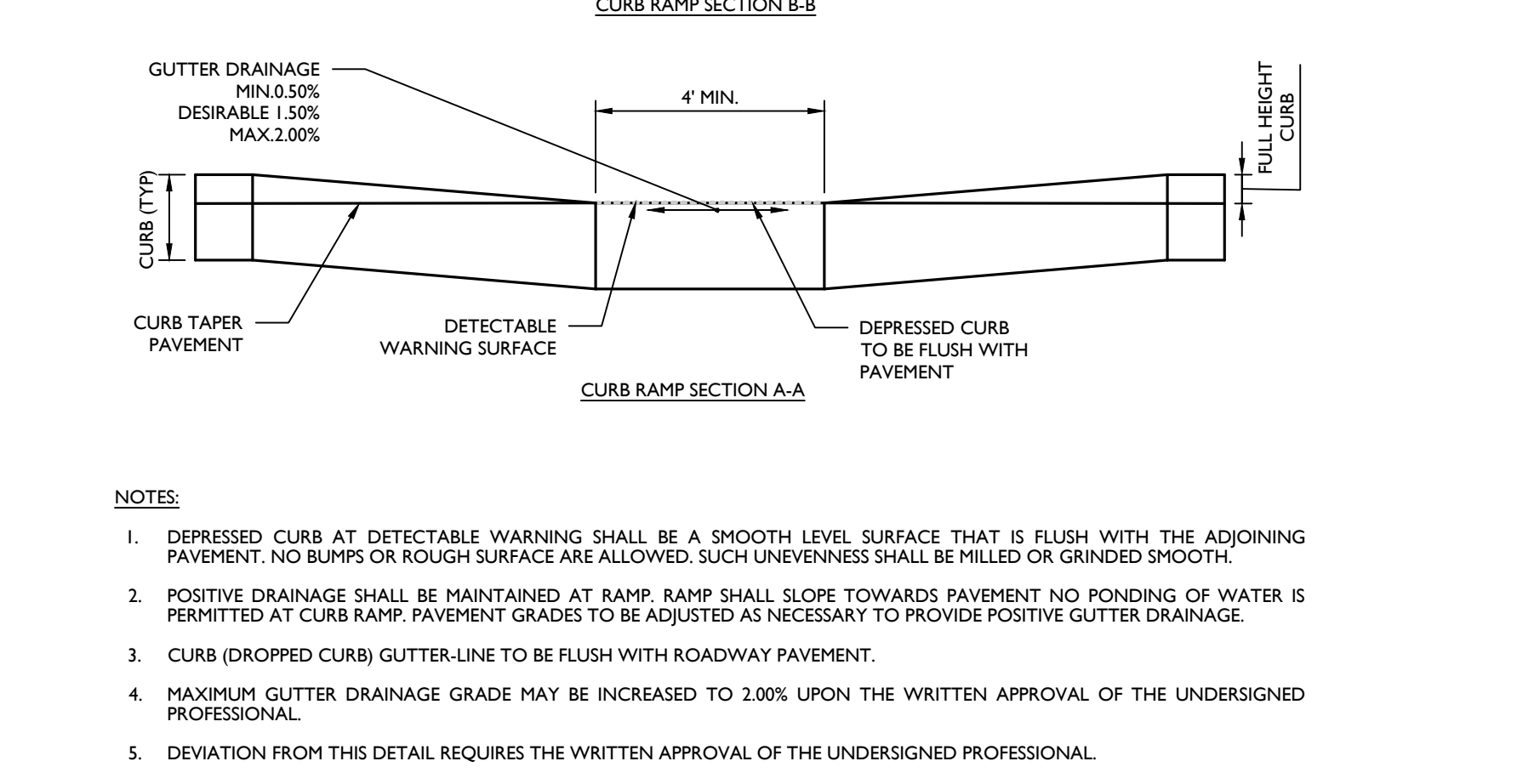
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BICYCLE RACK DETAIL
MCCM-SITE-FNCE-2400

NOT TO SCALE

07/01/19

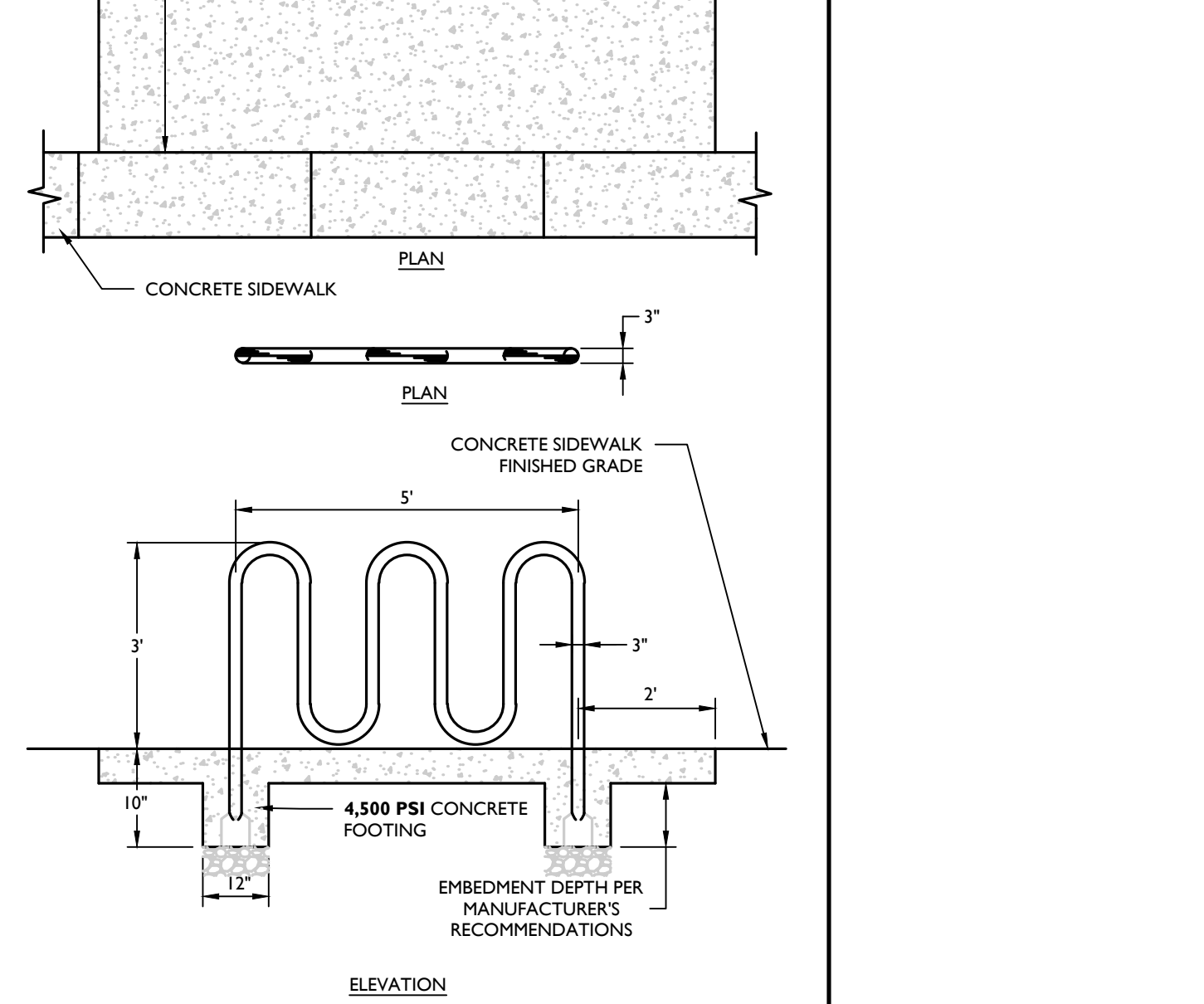


DETECTABLE WARNING SURFACE DETAIL
MCNJ-SITE-HADA-2100

NOT TO SCALE

05/01/18

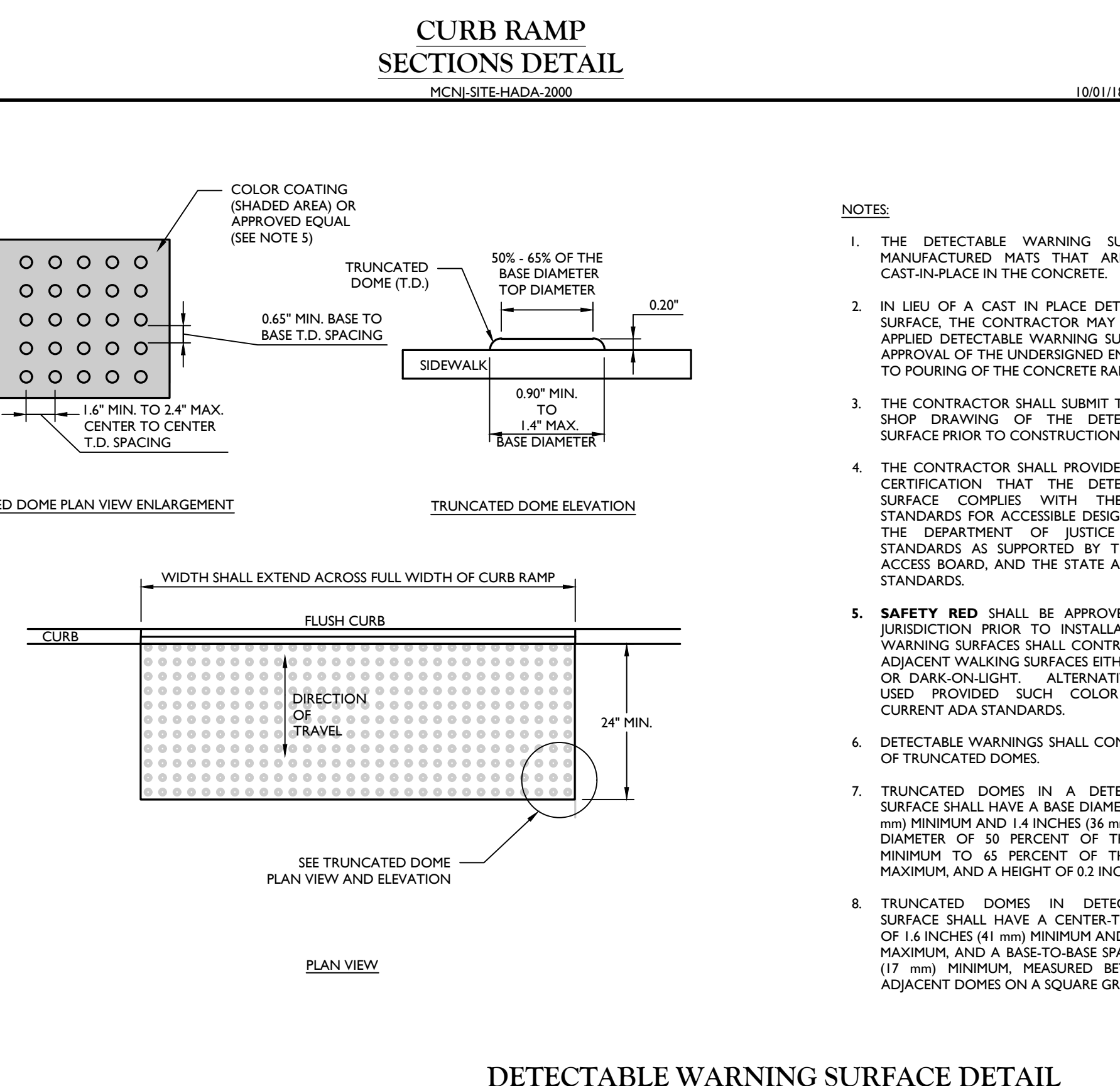
- NOTES:**
- DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACE ARE ALLOWED. SUCH UNIFORM SHALL BE MILLED OR GRINDED SMOOTH.
 - POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP. RAMP SHALL SLOPE TOWARDS PAVEMENT NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE GUTTER DRAINAGE.
 - CURB (DROPPED CURB) GUTTER LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
 - MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
 - DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
 - SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. WHERE REQUIRED BY THE MANUFACTURER, THE CONCRETE BORDER SHALL NOT EXCEED 2 INCHES (51 mm).
 - IN LIEU OF A CAST IN PLACE DETECTABLE WARNING SURFACE, THE CONTRACTOR MAY UTILIZE A SURFACE APPLIED DETECTABLE WARNING SURFACE WITH PRIOR APPROVAL OF THE UNDERSIGNED ENGINEER AND PRIOR TO POURING OF THE CONCRETE RAMP.
 - THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SHOP DRAWING OF THE DETECTABLE WARNING SURFACE PRIOR TO CONSTRUCTION FOR APPROVAL.
 - THE CONTRACTOR SHALL PROVIDE A MANUFACTURER CERTIFICATION THAT THE DETECTABLE WARNING SURFACE COMPLIES WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE AND THE ADA STANDARDS AS SUPPORTED BY THE UNITED STATES ACCESS BOARD, AND THE STATE AND/OR LOCAL ADA STANDARDS.
 - SAFETY RED** SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ALTERNATIVE COLOR MAY BE USED PROVIDED SUCH COLOR COMPLIES WITH CURRENT ADA STANDARDS.
 - DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE LOWER LANDING AT THE BACK OF CURB.
 - TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCH (23 mm) MINIMUM AND 1.4 INCHES (36 mm) MAXIMUM. A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 65 PERCENT OF THE BASE DIAMETER MAXIMUM AND A HEIGHT OF 0.2 INCH (5.1 mm).
 - TRUNCATED DOMES IN DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM AND 2.4 INCHES (61 mm) MAXIMUM AND A BASE-TO-BASE SPACING OF 0.65 INCH (17 mm) MINIMUM, MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.
 - ON PERPENDICULAR CURB RAMPS, DETECTABLE WARNING SURFACES SHALL BE PLACED AS FOLLOWS:
 - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE IN FRONT OF THE BACK OF CURB, DETECTABLE WARNING SURFACES SHALL BE PLACED AT THE BACK OF CURB.
 - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE BEHIND THE BACK OF CURB AND THE DISTANCE FROM EITHER END OF THE BOTTOM GRADE BREAK TO THE BACK OF CURB IS 5.0 FT OR LESS, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE RAMP RUN WITHIN ONE DOPE SPACING OF THE BOTTOM GRADE BREAK.
 - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE BEHIND THE BACK OF CURB AND THE DISTANCE FROM EITHER END OF THE BOTTOM GRADE BREAK TO THE BACK OF CURB IS MORE THAN 5.0 FT, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE LOWER LANDING AT THE BACK OF CURB.
 - ON PARALLEL CURB RAMPS, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND SIDEWALK.
 - ON BLENDED TRANSITIONS, DETECTABLE WARNING SURFACES SHALL BE PLACED AT THE BACK OF CURB.



WALL SECTION WITH PIPE IN REINFORCED ZONE (NEAR VERTICAL SETBACK) DETAIL
MCCM-SITE-WALL-1300

NOT TO SCALE

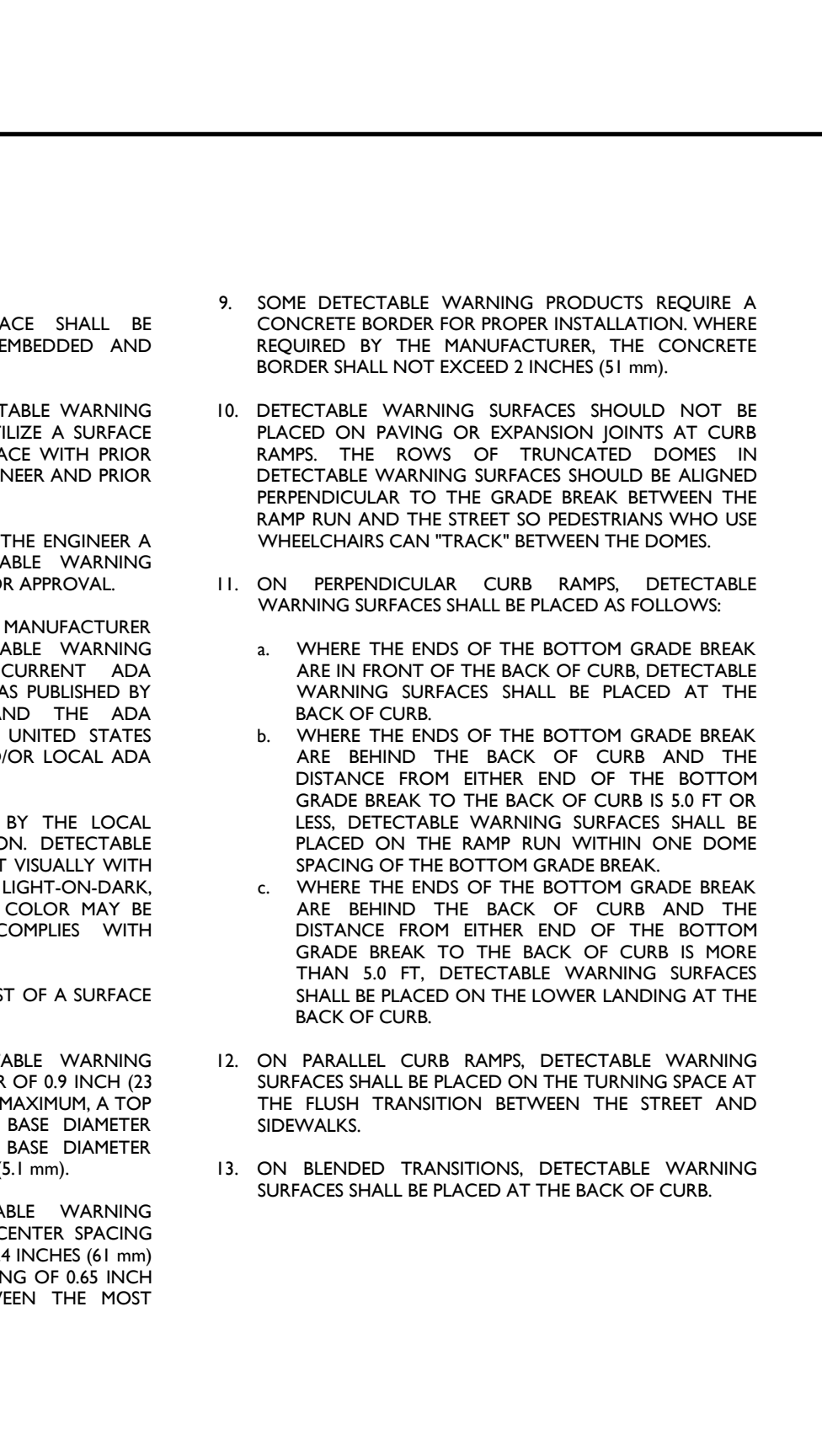
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TIMBER GUIDE RAIL DETAIL
MCCM-SITE-FNCE-2500

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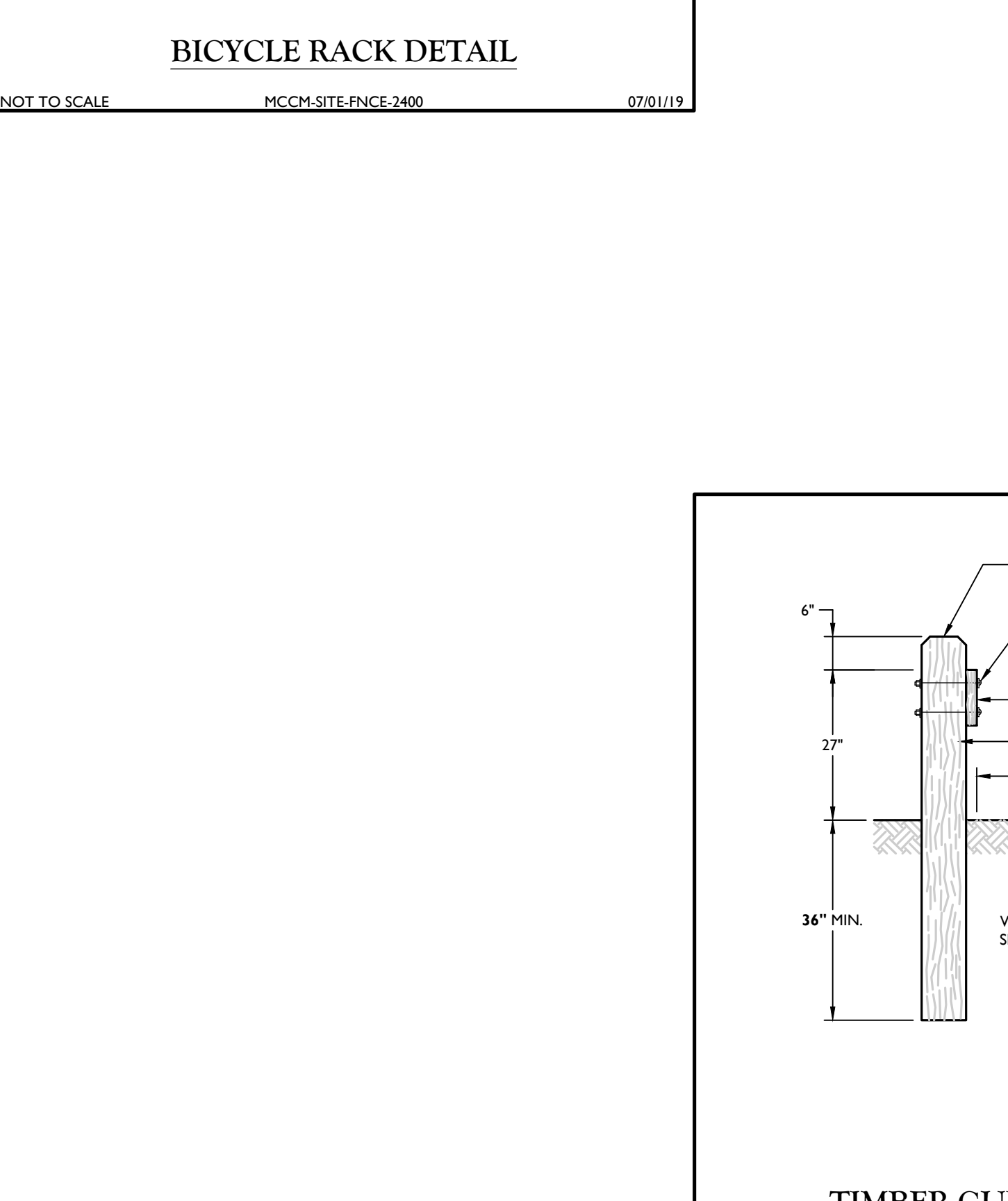
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TYPICAL PIPE OUTLET DETAIL
MCCM-SITE-WALL-1800

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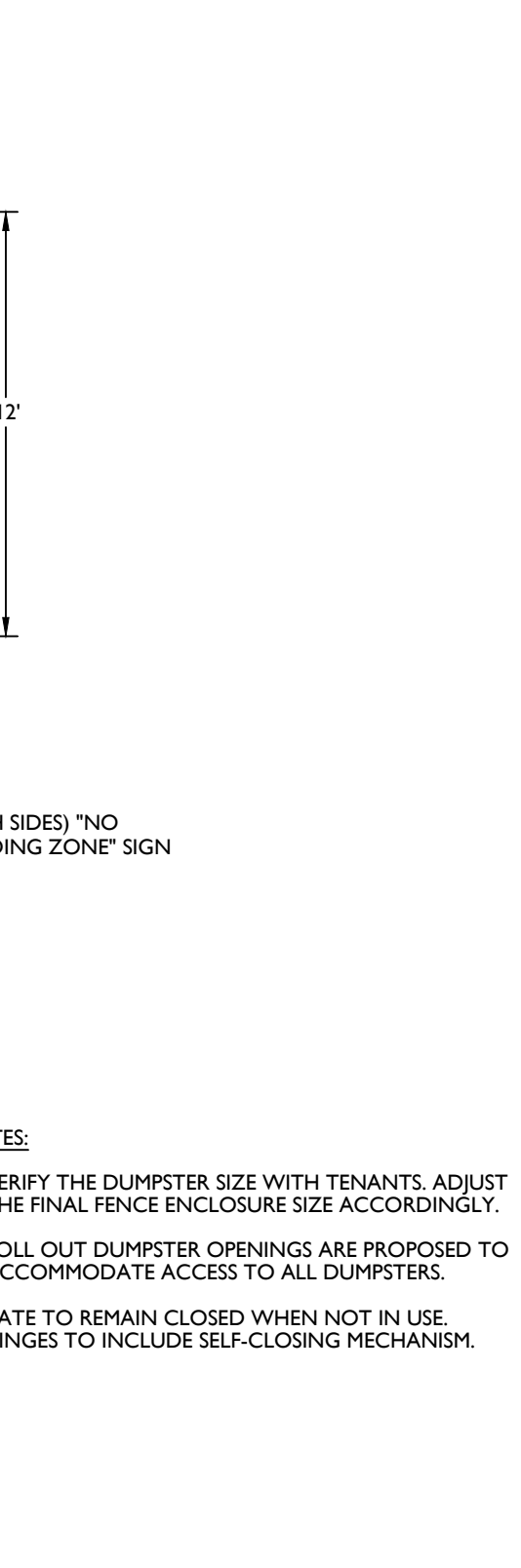
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CURB RAMP SECTION A-A

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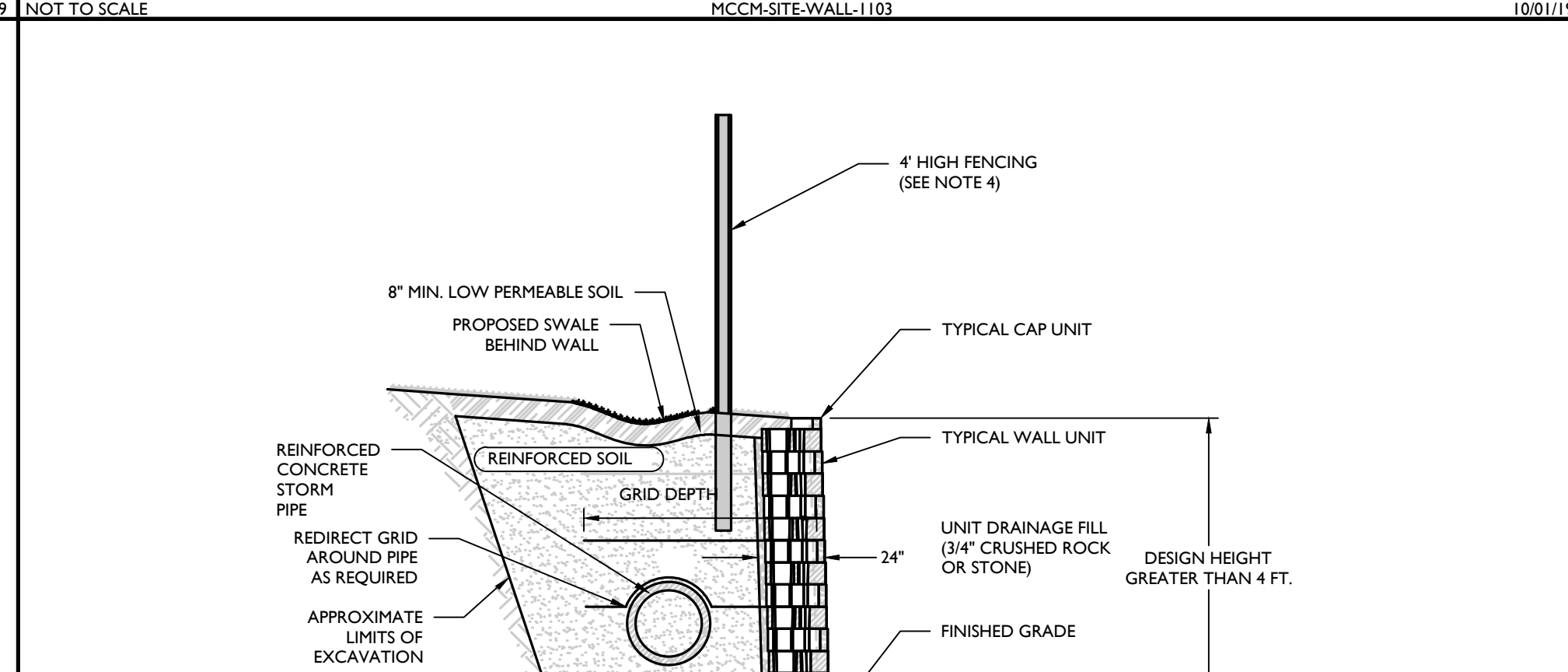
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TYPICAL REINFORCED WALL SECTION (NEAR VERTICAL SETBACK) DETAIL
MCCM-SITE-WALL-1103

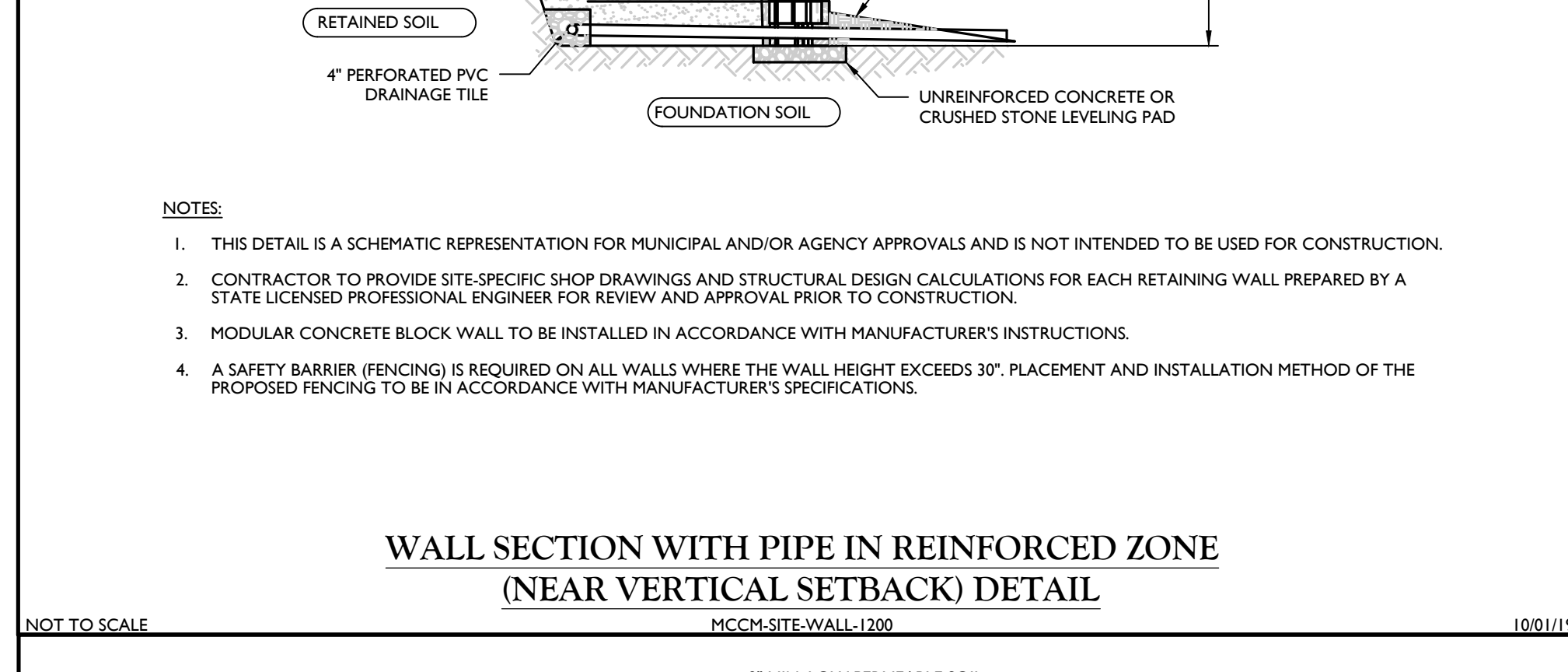
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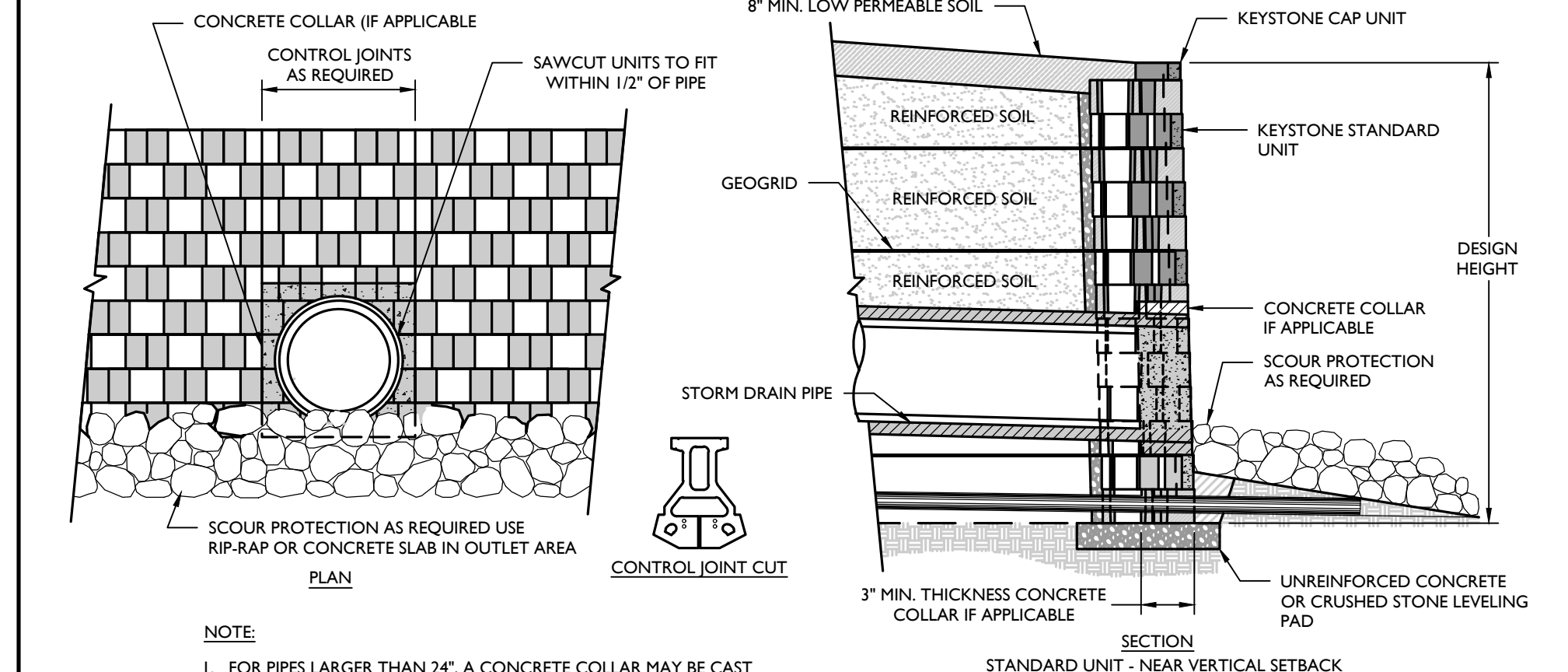
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TIMBER GUIDE RAIL DETAIL
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11/14/20	REVISED PER CHE ASSOCIATES TECHNICAL ENGINEERING REVIEW LETTER DATED 07/19		DSS		

Dan Sobieski
 DANIEL SOBIESKI
 NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE55019

AMENDED PRELIMINARY/FINAL SITE PLAN FOR THE PLACE AT SAYREVILLE
 BLOCK 175, BLOCK 10.01
 BOROUGH OF SAYREVILLE MIDDLESEX COUNTY NEW JERSEY

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