

PATEL RESIDENCE

NOT FOR CONSTRUCTION



06/02/22 ZONING DWGS

TOTAL ARCHITECTURE

Cory Fernandez, AIA
ARCHITECT
License No. 21A102040500
176 LINDEN ST.
BRIDGEWATER, NJ 08807

PROJECT No. 21064

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

DATE: 06/02/22
ZONING DWGS

No.	Revision/Issue	Date
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COVER SHEET

G001

LOT OWNERS
(WITHIN 200 FT OF SITE)

BLOCK 336.01 — LOT 1
CARTY, GAIL M
13 SHERWOOD RD
PARLIN, NJ 08859
RE: 19 SHERWOOD DR

BLOCK 336.01 — LOT 2
RODRIGUEZ, E & SERRATA, K
5 CAMBRIDGE DR
SUMMIT, NJ 07901
RE: 8 CAMBRIDGE DR

BLOCK 336.01 — LOT 12
ZAMBO, LORETTA
21 SHERWOOD RD
SUMMIT, NJ 07901
RE: 11 SHERWOOD RD

BLOCK 336.02 — LOT 5
WRANOVICS, STEPHANIE M
10 YORKSHIRE PL
PARLIN, NJ 08859
RE: 10 YORKSHIRE PL

BLOCK 336.02 — LOT 6
VIDAL, MARIO & JANET
12 YORKSHIRE PL
PARLIN, NJ 08859
RE: 12 YORKSHIRE PL

BLOCK 336.02 — LOT 7
KEY, BELKYS ROMERO
14 YORKSHIRE PL
PARLIN, NJ 08859
RE: 14 YORKSHIRE PL

BLOCK 336.02 — LOT 8
BRABK, CHRISTOPHER & MARY BETH
16 YORKSHIRE PL
PARLIN, NJ 08859
RE: 16 YORKSHIRE PL

BLOCK 336.02 — LOT 9
PATEL, MEHUL & HEMA
18 YORKSHIRE PL
PARLIN, NJ 08859
RE: 18 YORKSHIRE PL

BLOCK 336.02 — LOT 10
RICHARDS, THOMAS & SHANNON
20 YORKSHIRE PL
PARLIN, NJ 08859
RE: 20 YORKSHIRE PL

BLOCK 336.02 — LOT 24
FRANK, ROBERT & SUSAN
7 CAMBRIDGE DR
PARLIN, NJ 08859
RE: 7 CAMBRIDGE DR

BLOCK 336.02 — LOT 25
LA FONTAINE, RAYMOND & MARY ANN
5 CAMBRIDGE DR
PARLIN, NJ 08859
RE: 5 CAMBRIDGE DR

BLOCK 336.02 — LOT 26
TEVIS, JANIA
3 CAMBRIDGE DR
PARLIN, NJ 08859
RE: 3 CAMBRIDGE DR

BLOCK 336.02 — LOT 28
DI SCIULLO, LUCIA
15 SHERWOOD RD
PARLIN, NJ 08859
RE: 15 SHERWOOD RD

BLOCK 336.02 — LOT 29
SLOMKOWSKI, KRYSZYNA
13 SHERWOOD RD
PARLIN, NJ 08859
RE: 13 SHERWOOD RD

BLOCK 336.02 — LOT 30
LORENTZ, DONALD M & SHERRI A
11 SHERWOOD RD
PARLIN, NJ 08859
RE: 11 SHERWOOD RD

BLOCK 336.03 — LOT 1
SHAH, RAMOLA P
4 ROBINHOOD DR
PARLIN, NJ 08859
RE: 4 ROBINHOOD DR

BLOCK 336.03 — LOT 15
CARUSO, IRENA
17 YORKSHIRE PL
PARLIN, NJ 08859
RE: 17 YORKSHIRE PL

BLOCK 336.03 — LOT 16
NUNES, RICHARD & LILLIAN
15 YORKSHIRE PL
PARLIN, NJ 08859
RE: 15 YORKSHIRE PL

BLOCK 336.03 — LOT 17
BERLINGIERI, JR., JOHN
13 YORKSHIRE PL
PARLIN, NJ 08859
RE: 13 YORKSHIRE PL

BLOCK 336.04 — LOT 2
COPPA, ANTHONY & MICHELE
10 SHERWOOD RD
PARLIN, NJ 08859
RE: 10 SHERWOOD RD

BLOCK 336.04 — LOT 3
SCHMIDT, RICHARD & ROSINA
12 SHERWOOD, RICHARD & ROSINA
PARLIN, NJ 08859
RE: 15 YORKSHIRE PL

BLOCK 336.04 — LOT 4
O'CONNOR, NEIL & KATHY
14 SHERWOOD RD
PARLIN, NJ 08859
RE: 14 SHERWOOD RD

BLOCK 336.04 — LOT 5
GRUTYCH, DAWA & CAROL
17 SURREY LA
PARLIN, NJ 08859
RE: 17 SURREY LA

BLOCK 336.04 — LOT 6
BORRUSO, MICHAEL & DUMONT, LAURA
15 SURREY LA
PARLIN, NJ 08859
RE: 15 SURREY LA

BLOCK 336.04 — LOT 7
BAUERSCHMITT, MARK & ADAMCZYK, JANICE
13 SURREY LA
PARLIN, NJ 08859
RE: 13 SURREY LA

UTILITIES

JESSICA MORELOS, MUNICIPAL CLERK
BOROUGH OF SAYREVILLE
167 MAIN STREET
SAYREVILLE, NJ 08872

WATER & SEWER UTILITIES
167 MAIN STREET
SAYREVILLE, NJ 08872
NEWARK, NJ 07102
800-436-7734

PSE&G CO.
800-436-7734

VERIZON
VERIZON.COM

CABLEVISION
OPTIMUM.COM
866-347-4784

DIRECTV
DIRECTV.COM
833-460-2014

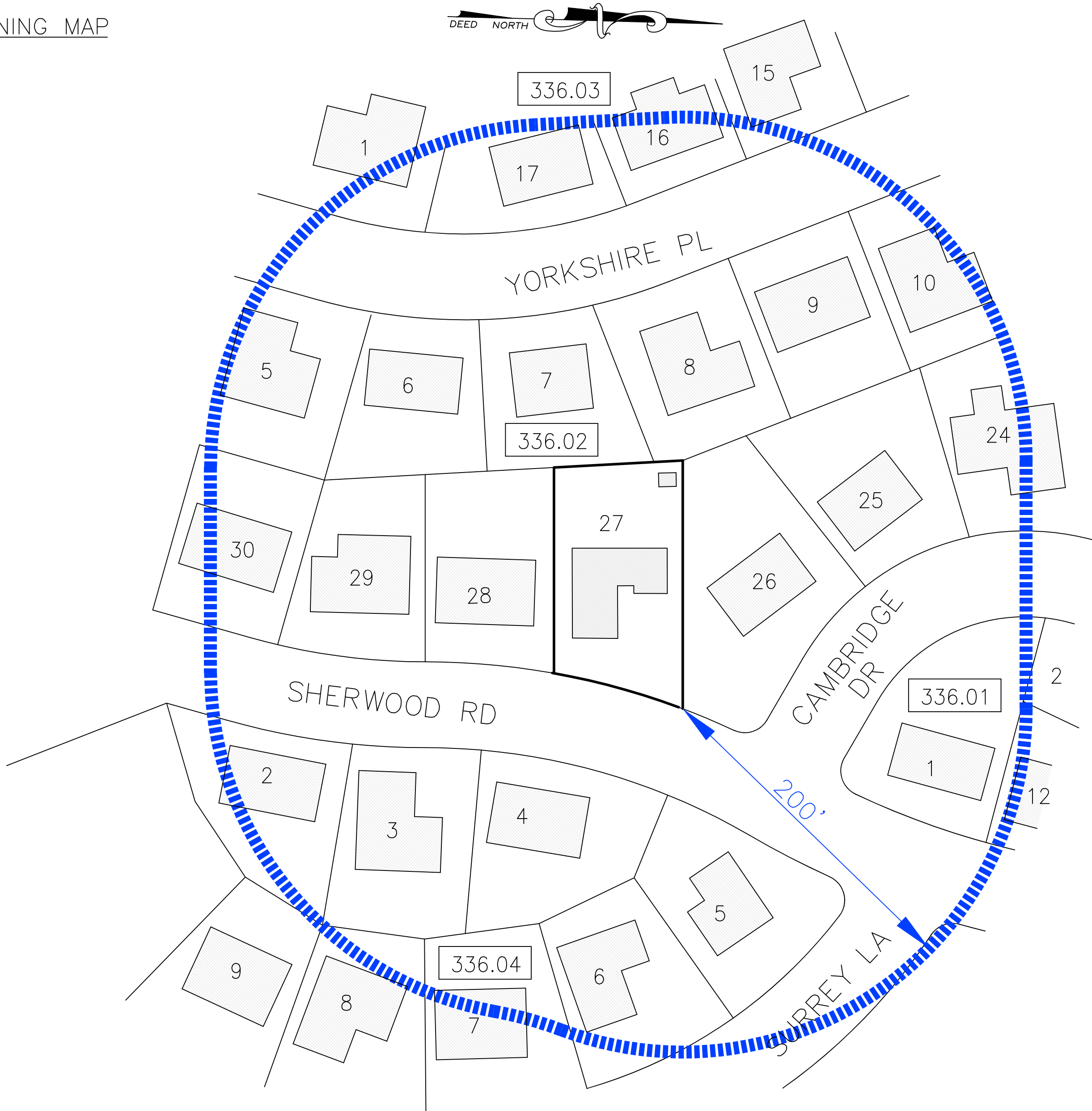
JCP&L (FIRST ENERGY)
FIRSTENERGYCORP.COM
888-554-4877

NJ NATURAL GAS
NUNG.COM

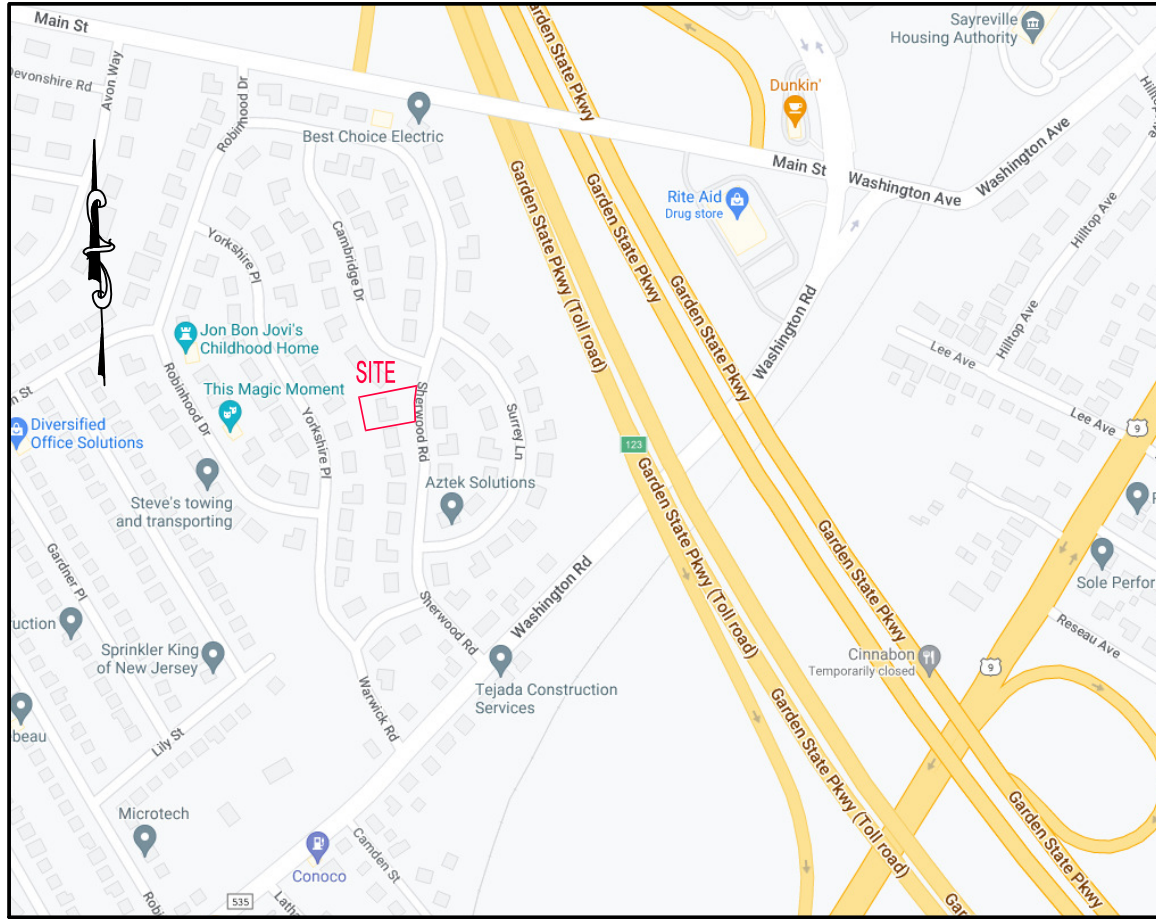


BOROUGH ZONING MAP

VARIANCE PLAN FOR
17 SHERWOOD ROAD
LOT 27 IN BLOCK 336.02
BOROUGH OF SAYREVILLE
MIDDLESEX COUNTY, N.J.



200' RADIUS MAP
1"=100'



AREA KEY MAP (GOOGLE)

GENERAL NOTES:

- PROPERTY KNOWN AS LOT 27 IN BLOCK 336.02 ON THE CURRENT TAX MAPS OF THE BOROUGH OF SAYREVILLE, SHEET NO. 72.06.
- PROPERTY KNOWN AS LOT 27 IN BLOCK 336-B ON A MAP ENTITLED, "MAP OF SHERWOOD FOREST ESTATES, SECTION THREE..." AND RECORDED IN THE MIDDLESEX COUNTY CLERK'S OFFICE ON JANUARY 12, 1968 AS MAP NO. 3150-955.
- BEING THE SAME PREMISES DESCRIBED IN A DEED RECORDED IN THE MIDDLESEX COUNTY CLERK'S OFFICE ON APRIL 7, 2009 IN DEED BOOK 6037-687.
- BEING MORE COMMONLY KNOWN AS 17 SHERWOOD ROAD, BOROUGH OF SAYREVILLE, N.J.
- PROPERTY CONTAINS 9,826 SF OR 0.23 ACRES (MORE OR LESS).
- SETBACK SHOWN IN ACCORD WITH THE CURRENT ZONING REQUIREMENTS FOR ZONE R-7 (PRD) ON THE ZONING MAP DATED 12/15/1999.
- PROPERTY SITUATED IN FLOOD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, NEW JERSEY, PANEL 56 OF 286 ON MAP NUMBER 34023C0056F DATED JULY 6, 2010.
- THIS PLAN IS SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE. SUBJECT TO EASEMENTS OF RECORD. THIS PLAN DOES NOT CONSTITUTE A TITLE SEARCH BY ENSURPLAN, INC. A TOPOGRAPHIC SURVEY OF THE PROPERTY WAS PREPARED BY ENSURPLAN, INC. IN MARCH 2021 UNDER THE DIRECTION OF NANCY J. SCOTT, P.L.S. NJ LICENSE NUMBER GS35875.
- OWNER & APPLICANT:
HARISH & SEJAL PATEL
17 SHERWOOD ROAD
SAYREVILLE, NJ 08872
- UTILITY LOCATIONS ARE APPROXIMATE AND SHOWN FOR PLANNING PURPOSES ONLY. THE CONTRACTOR MUST CONTACT THE NEW JERSEY ONE CALL SYSTEM FOR ACCURATE MARK-OUTS.
- DO NOT SCALE STRUCTURES OUTSIDE OF PROPERTY BOUNDARY. THESE ITEMS HAVE BEEN SHOWN SCHEMATICALLY FOR THE PURPOSE OF MUNICIPAL REVIEW.
- ARCHITECTURAL INFORMATION INDICATED HEREON IN ACCORD WITH A PLAN DATED 3/22/2022 (PROJECT #21064) AND PREPARED BY:
CORY FERNANDEZ, R.A.
TOTAL ARCHITECTURE, LLC
176 LINDEN STREET
BRIDGEWATER, NJ 08807
cory@totalarch.com

VARIANCES REQUESTED:

- BUILDING COVERAGE: 2445 SF PROPOSED 1965 SF ALLOWED

DRAWING INDEX:

- SHEET 1 - COVER SHEET & RADIUS MAP
SHEET 2 - TOPOGRAPHIC SURVEY & DEMOLITION PLAN
SHEET 2 - PROPOSED LOT GRADING PLAN
SHEET 3 - SOIL EROSION & SEDIMENT CONTROL

Revision Table:
0) 05-11-2022 INITIAL ISSUE

Nancy J. Scott
NANCY J. SCOTT, P.L.S.
Professional Land Surveyor,
N.J. License No. GS35875

William S. Scott
WILLIAM S. SCOTT, P.E.
Professional Engineer,
N.J. License No. GE44863

**ENGINEERING
SURVEYING
PLANNING**
ENSURPLAN INC.
(Certificate of Authorization No. 24GA27997700)
P.O. BOX 4304, WARREN, N.J. 07059
172 WASHINGTON VALLEY RD, SUITE 1 WARREN, N.J.
Tel: 732-469-0400
Fax: 732-469-0466

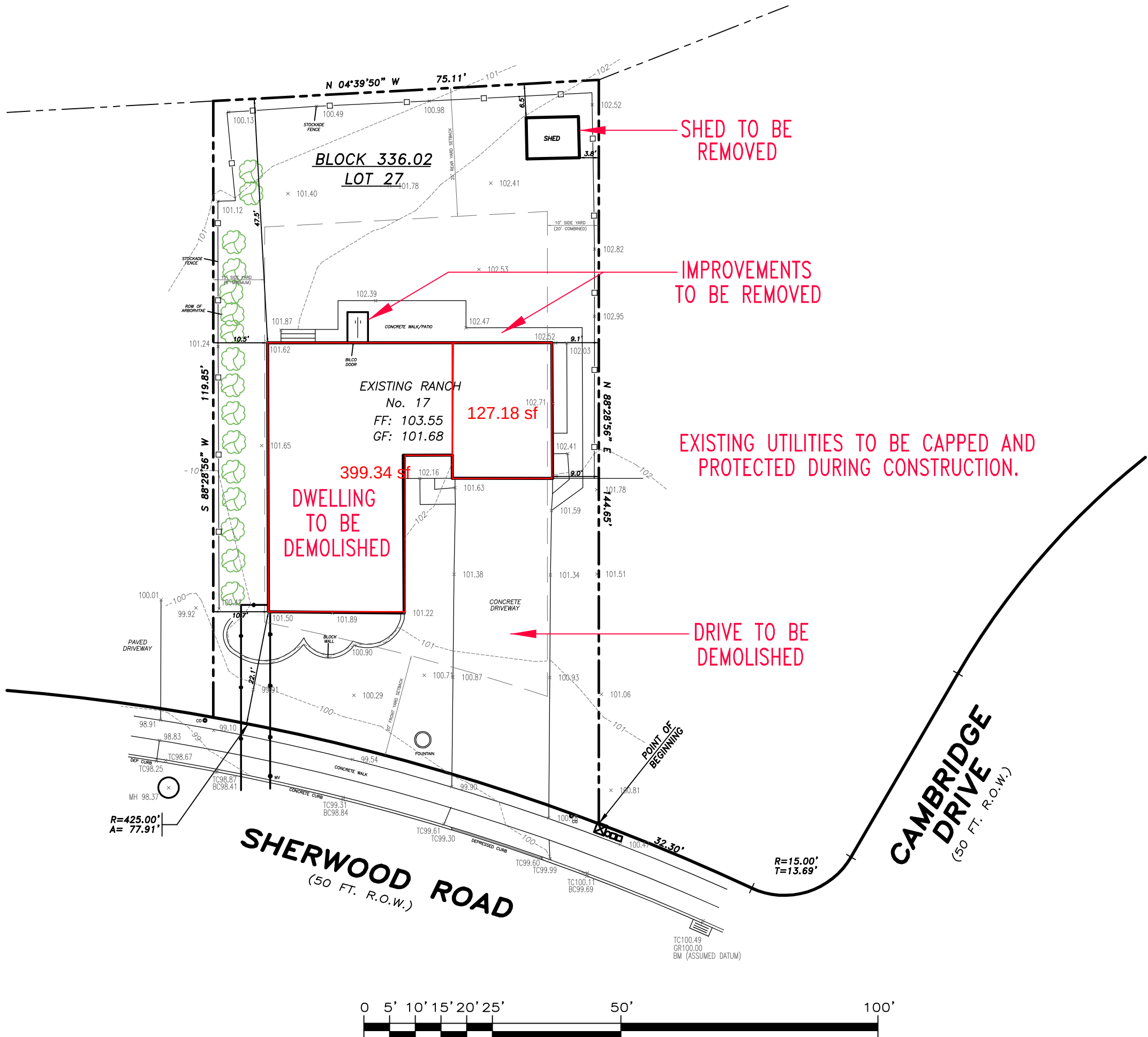
PLOT AND GRADING PLAN
17 SHERWOOD ROAD
LOT 27 IN BLOCK 336.02
SITUATED IN THE
BOROUGH OF SAYREVILLE,
MIDDLESEX COUNTY, NJ

SCALE: 1"=10'	ORDER: E-10761	1
DATE: 5-11-2022	FILE: 29579	3

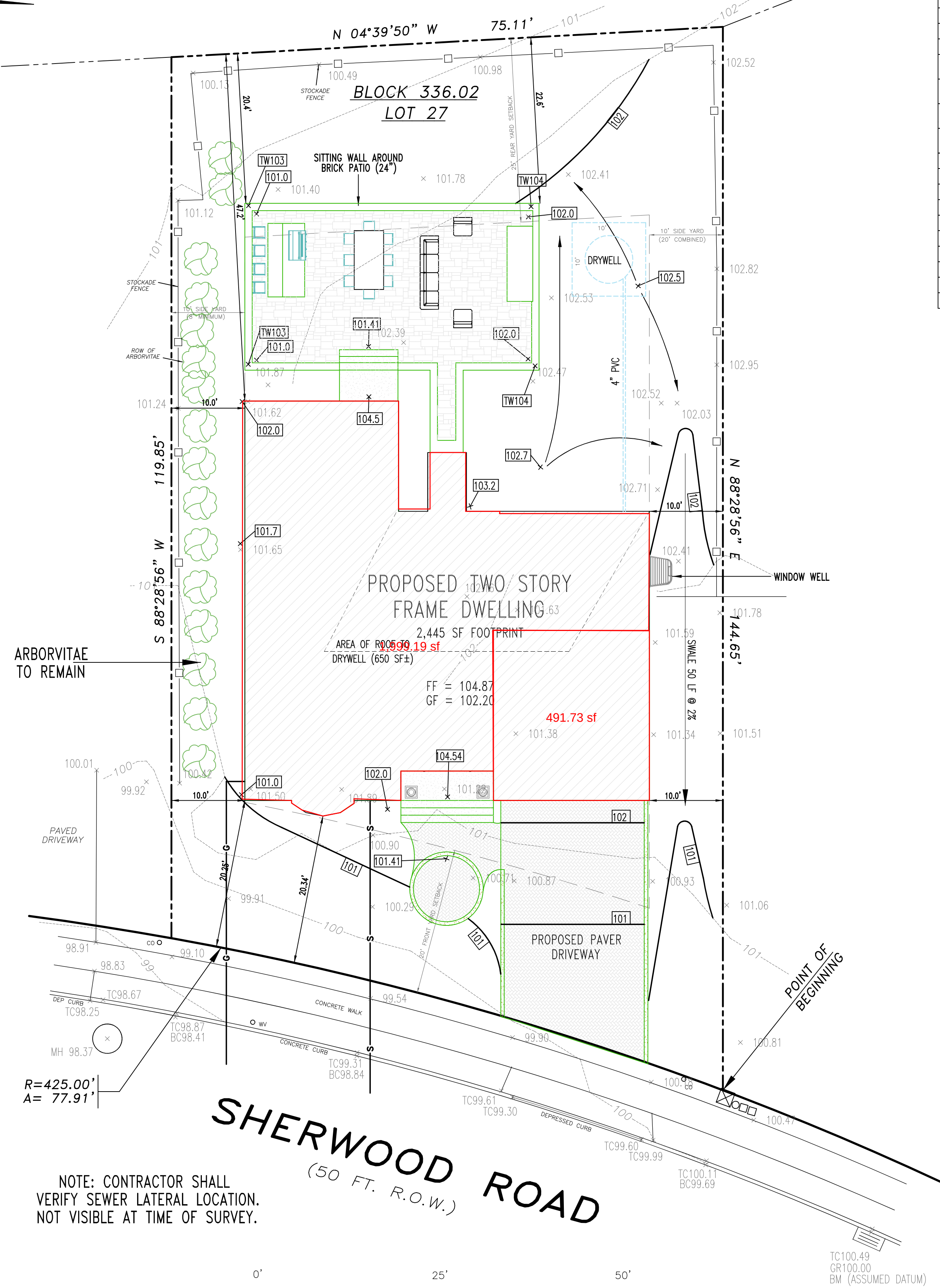
APPROVALS:

OWNER I HEREBY CONSENT TO THE FILING OF THIS SITE PLAN WITH THE BOROUGH OF SAYREVILLE:	
DATE	OWNER
BOROUGH BOARD APPLICATION FOR SITE PLAN NO. _____ BY: _____	
DATE	CHAIRMAN
DATE	SECRETARY
ENGINEER I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION	
DATE	ENGINEER

TOPOGRAPHIC SURVEY &
DEMOLITION PLAN



PROPOSED PLAN



ZONING REQUIREMENTS: RESIDENTIAL DISTRICT R-7

	ZONE R-7	EXISTING	PROPOSED	VARIANCE
LOT AREA	7,500 SF	9,826 SF	NO CHANGE	NO
LOT FRONTAGE	75 FT	77.91 FT	NO CHANGE	NO
LOT WIDTH (AT MINIMUM SETBACK)	75 FT	77.63 FT	NO CHANGE	NO
MINIMUM LOT DEPTH	100 FT	-	NO CHANGE	NO
PRINCIPAL BUILDING FRONT YARD (MINIMUM)	20 FT	22.1 FT	20.25 FT	NO
PRINCIPAL BUILDING REAR YARD (MINIMUM)	25 FT	47.5 FT	47.2 FT	NO
PRINCIPAL BUILDING SIDE YARD (MINIMUM)	8 FT	9.0 FT	10.0 FT	NO
PRINCIPAL BUILDING SIDE YARD (COMBINED)	20 FT	19.5 FT	20.0 FT	NO
ACCESSORY USE REAR YARD	10 FT	6.5 FT	N/A	NO
ACCESSORY USE SIDE YARD	10 FT	3.8 FT	N/A	NO
PATIO SETBACK (26-82.2)	20 FT	N/A	20.4 FT	NO
MAXIMUM BUILDING COVERAGE	1965 SF/20%	2185 SF/22.2%	2445 SF/24.9%	YES
MAXIMUM LOT COVERAGE	4421 SF/45%	3832 SF/39.0%	4362 SF/44.4%	NO
MAXIMUM DECK COVERAGE	-	-	-	NO
MAXIMUM BUILDING HEIGHT (FEET)	35 FT	-	34.92 FT	NO
MAXIMUM BUILDING HEIGHT (STORIES)	2 1/2 STY	1	2 STY	NO
MAXIMUM FLOOR AREA	-	-	-	NO
MAXIMUM FLOOR AREA RATIO	-	-	-	NO

BUILDING HEIGHT
DISTANCE FROM THE FF TO ROOF PEAK = 32.10'
ROOF PEAK ELEVATION = FF (104.87) + DIST FF TO PEAK (32.10) = 136.97'
HEIGHT = PEAK (136.97') - AVG GRADE (102.05) = 34.92'

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176 LINDEN STREET
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Revision Table:

NO.	DATE	DESCRIPTION
0	05-11-2022	INITIAL ISSUE

NANCY J. SCOTT, P.L.S.
Professional Land Surveyor,
N.J. License No. GS35875

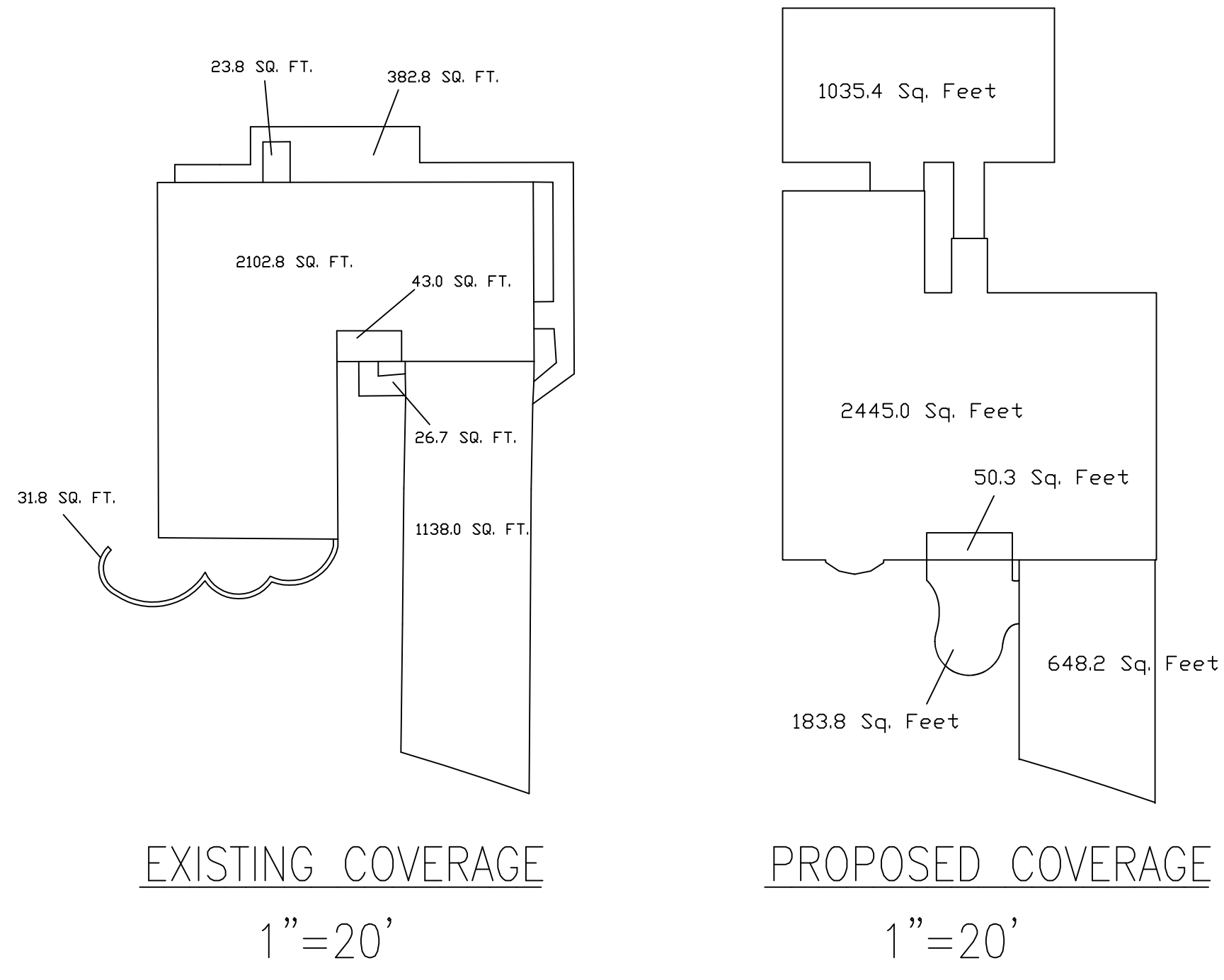
WILLIAM S. SCOTT, P.E.
Professional Engineer,
N.J. License No. GE44863

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PLOT AND GRADING PLAN
17 SHERWOOD ROAD
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SITUATED IN THE
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SCALE: 1"=10' ORDER: E-10761
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2
3



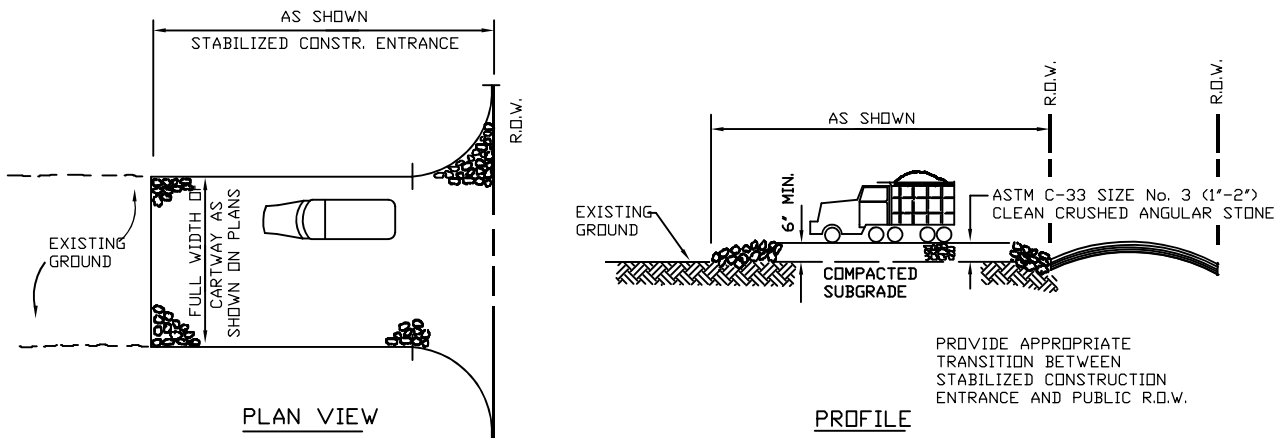
CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES.

1. SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS PRIOR TO START OF CONSTRUCTION.
2. INSTALL TRACKING PAD AT DRIVE LOCATIONS. INSTALL SEDIMENT SACKS IN INLETS.
3. INSTALL SILT FENCE AND TREE PROTECTION AS SHOWN ON PLAN. REMOVE TREES.
4. STRIP TOPSOIL INTO PILE AND STABILIZE.
5. ALL CONSTRUCTION VEHICLES TO ACCESS YARD VIA TRACKING PAD. MAINTAIN PAD THROUGHOUT PROJECT. IMMEDIATELY REMOVE TRACKED SOIL.
6. CONSTRUCT FOUNDATION AND BACKFILL. ROUGH GRADE AND STABILIZE.
7. CONSTRUCT NEW DWELLING, DRIVEWAY AND WALKS.
8. FINISH GRADING SITE AND INSTALL SITE LANDSCAPING. ESTABLISH PERMANENT VEGETATIVE COVER. NOTE: REMOVE TOPSOIL EROSION CONTROL MEASURES AND STONE TRACKING PAD DURING FINAL GRADING OF SITE AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
9. REMOVE SILT FENCE AND SEDIMENT SACKS AFTER PERMANENT VEGETATIVE COVER IS ESTABLISHED.

DURATION SCHEDULE

1. 2 DAYS
2. 1 DAY
3. 1 DAY
4. 1 DAY
5. CONTINUOUS
6. 3 WEEKS
7. 6 MONTHS
8. 3 WEEKS
9. 2 DAYS

TABLE 4-3 PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES ¹											
SEED MIXTURE ²	PLANTING RATE ³	PLANTING DATES							REMARKS		
		O = Optimal Planting period A = Acceptable Planting period									
		PLANT HARDINESS ZONES (see Figure 4-1)									
		Zone 5b, 6a		Zone 6b		Zone 7a, 7b					
lb./acre	sq./1000 sq. ft.	3/15-5/31	6/1-7/31	8/1-10/1	3/1-4/30	5/1-8/14	2/1-10/15	5/1-8/14	10/15-10/30		
13. Hard Fescue and/or Chewing fescue and/or Strong creeping red fescue	175	4	A	A	O	A	A	O	A	A	A-C General lawn/recreation.
Perennial ryegrass	45	1									
Ky. bluegrass (seed)	45	1									



STABILIZED CONSTRUCTION ACCESS

RECHARGE DRYWELL SIZING:

Utilizing 96" Seepage Tanks by Modern Precast Co.
12" Ring of 2-1/2" Clean stone shall surround tank.
The excavation shall be wrapped with filter fabric to protect the stone from soil infiltration.

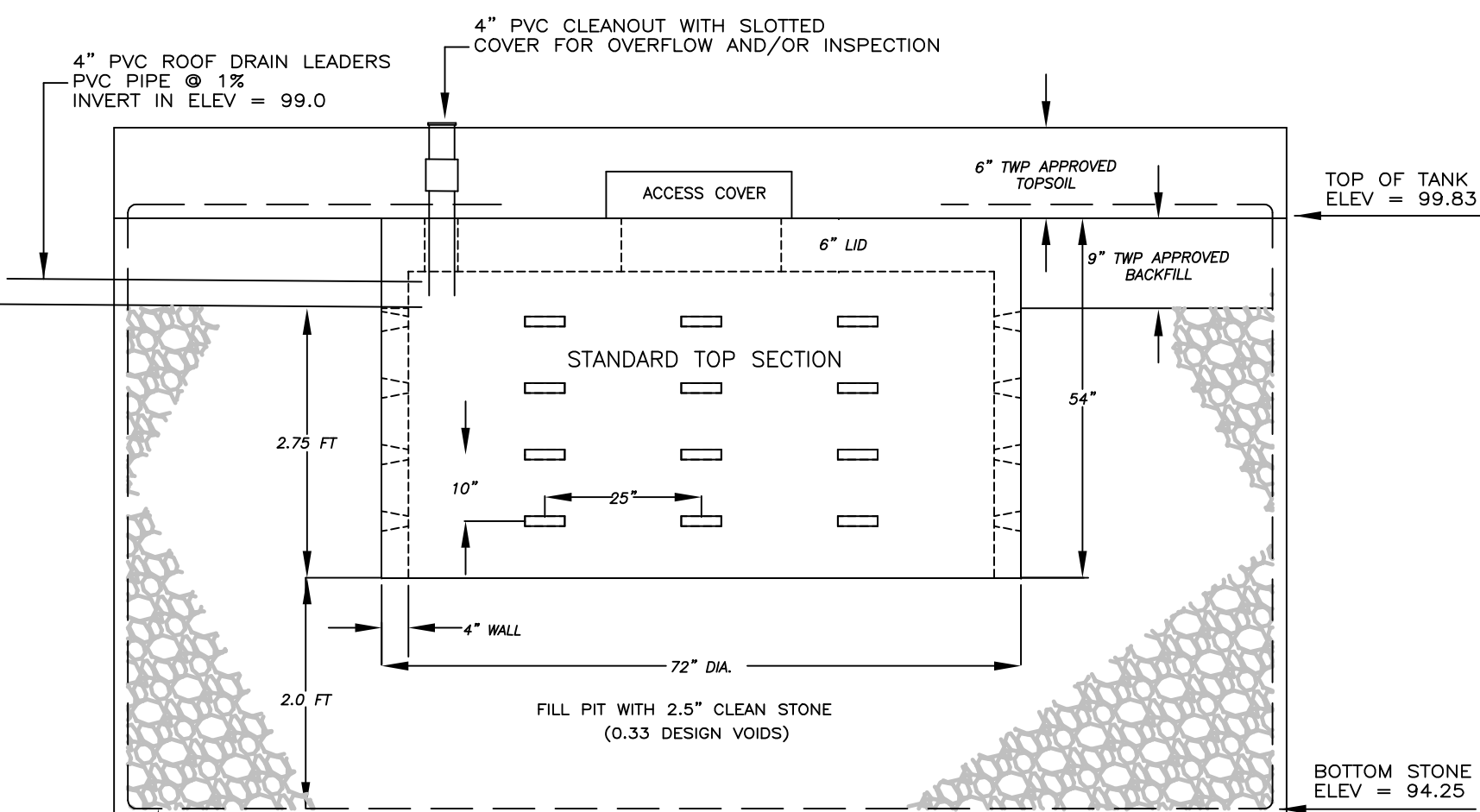
DRYWELL SHALL BE SIZED PER ORDINANCE TO ACCOMMODATE 3" OF RAINFALL OVER THE INCREASE IN IMPERVIOUS SURFACES.
INCREASE IN IMPERVIOUS SURFACE = 530 SF
REQUIRED STORAGE = 530 SF x 3/12"/FT = 133 CF
STORAGE FOR ROOF AREA DIRECTED TO DRYWELL = 650 SF x 3/12"/FT = 163 CF
TANK CAPACITY:
(1 tank) x (2.75 ft depth) x (2.67' inner rad) x (3.14) = 62 cf storage

CAPACITY WITHIN STONE VOIDS:

Drywell Pit Volume:
10' WIDE x 10' LONG x 4.75' = 475 cf
Outer Tank Volume:
(1 tank) x (2.75 ft depth) x (3.0' outer rad) x (3.14) = 77 cf
Stone Volume:
475 cf - 77 cf = 398 cf of stone (2.5" clean)
Void Volume:
398 CF x 0.33 void ratio = 131 cf

DRYWELL STORAGE:

Storage: 62 cf (tank) + 131 cf (voids) = 193 CF
Storage (193 cf) > Increase in Runoff (133 cf)
Storage (193 cf) > Roof Area Runoff (163 cf)



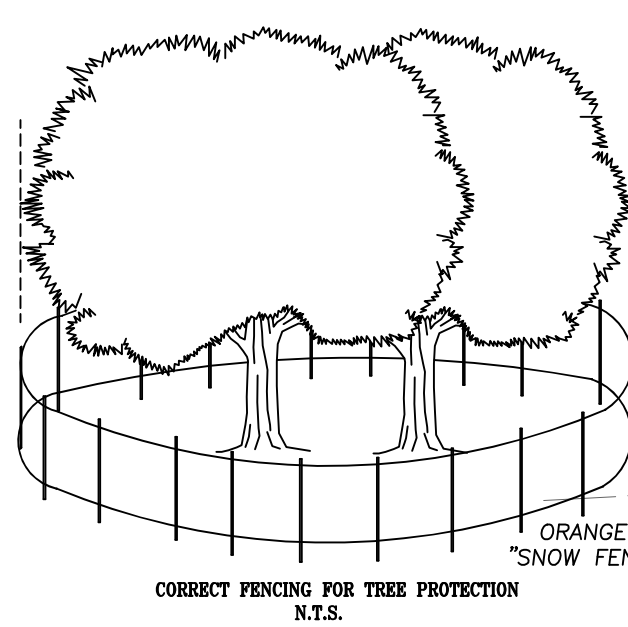
6'-6" SEEPAGE TANK w/ 6" LID

As Manufactured By
MODERN PRECAST PRODUCTS COMPANY

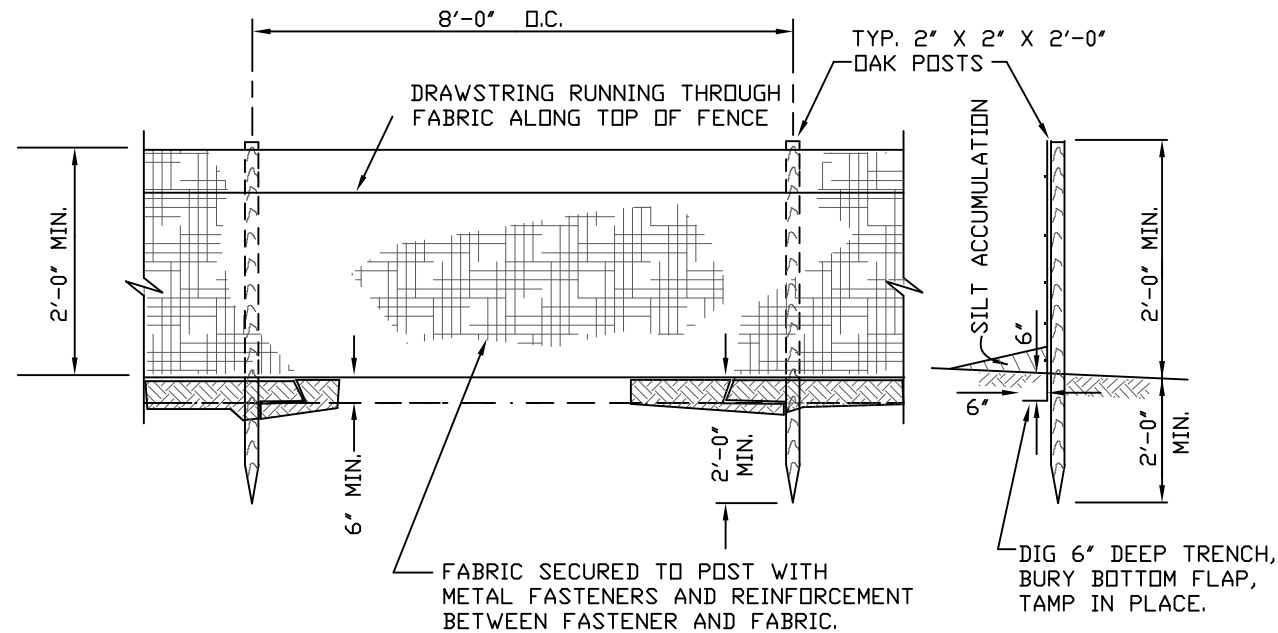
PROVIDE NON-WOVEN TYPE GEOTEXTILE DRAINAGE SEPARATION FABRIC, AMOCO 3516 OR APPROVED EQUAL. FABRIC SHOULD PROVIDE A MINIMUM:
1) 60 GAL./MIN./SQ.FT. FLOW RATE
2) 65 LBS. PUNCTURE
3) 225 LBS. BURST
4) 45 LBS. TRAP TEAR

SECTION VIEW

TREE PROTECTION:
(WITHIN LIMITS OF DISTURBANCE)



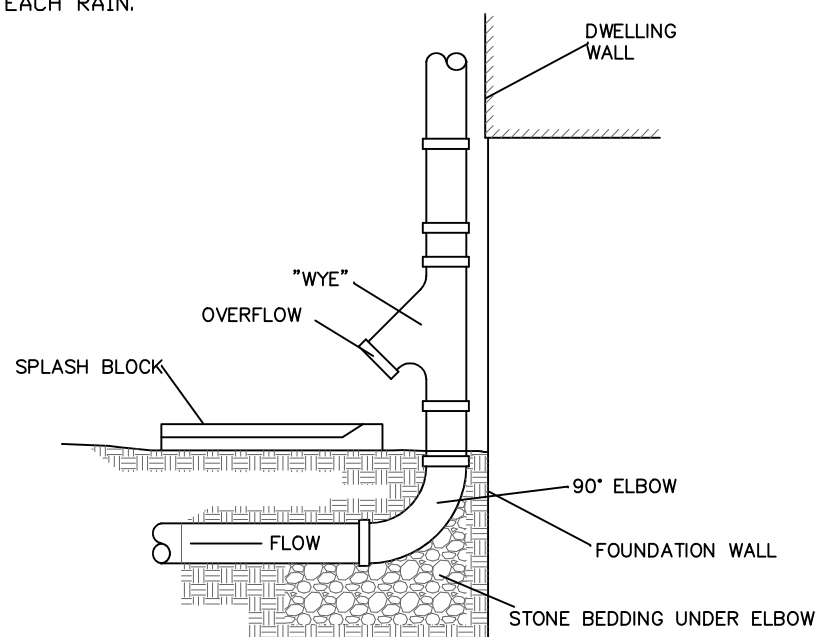
TYPICAL TOPSOIL STOCKPILE



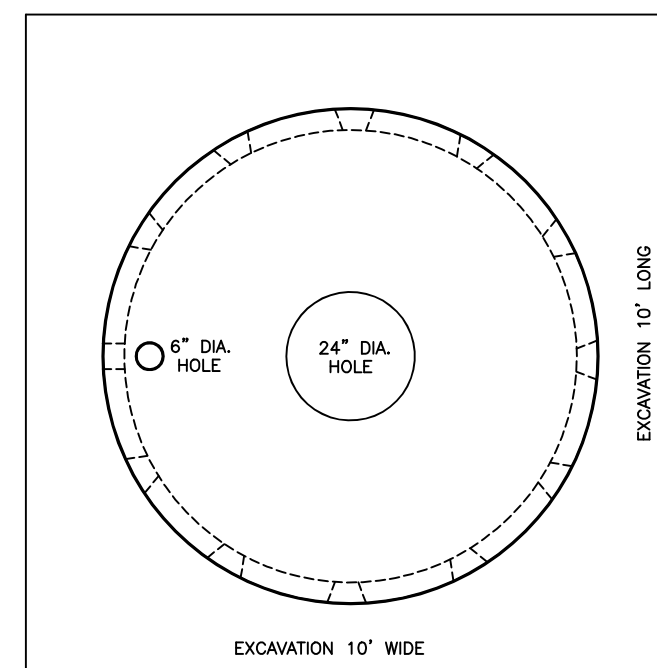
TEMPORARY SILTATION CONTROL FENCE

NOTE:

ALL SILT FENCE WILL BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAIN.



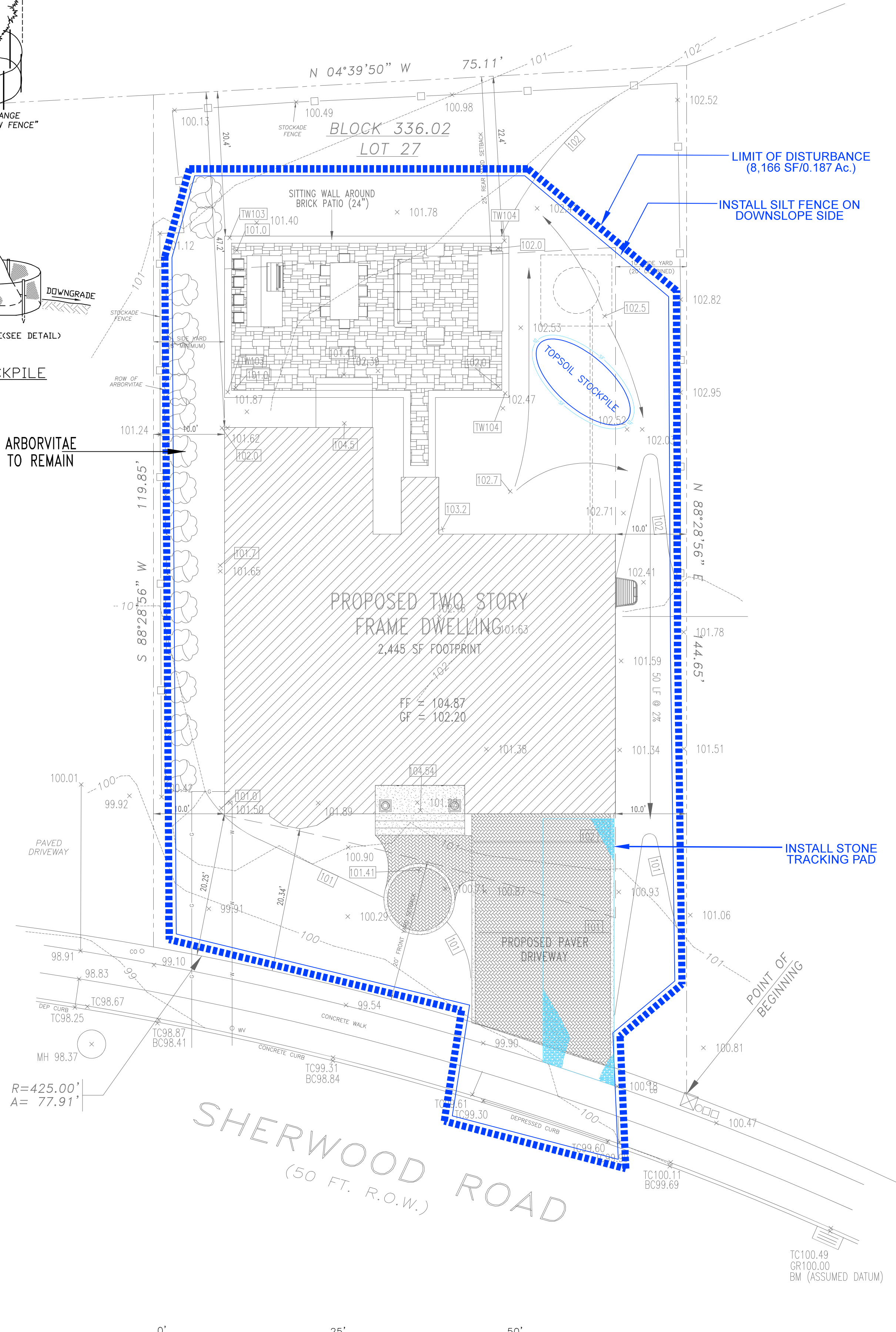
ROOF LEADER TIE-IN & OVERFLOW



DRYWELL STRUCTURE DETAIL

(OPEN BOTTOM)
NOT TO SCALE

SOIL EROSION & SEDIMENT CONTROL PLAN



0' 25' 50'

GRAPHIC SCALE
1" = 10'

PROJECT IS A PREVIOUSLY DEVELOPED SITE LOCATED WITHIN STATE PLANNING AREA PA-1 AND IS THEREFORE EXEMPT FROM SOIL COMPACTION REMEDIATION MEASURES.

FREEHOLD SOIL CONSERVATION DISTRICT
2019 SOIL EROSION AND SEDIMENT CONTROL NOTES

1. The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
2. All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
3. Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Plans.
4. N.J.S.A. 4:24-39 et Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
5. Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed area will be mulched with straw, or equivalent material, at a rate of 2- to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
6. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw, mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
7. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present the stabilized sub-base shall be installed within (15) days of preliminary grading.
8. The Standard for Stabilized Construction Access require the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All access points shall be blocked off.
9. All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
10. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
11. At the time when the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of ground stabilization will have to be employed.
12. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at a rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered with a minimum of 12 inches of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
14. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
15. Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the State Standards for Dust Control.
16. Stockpile and staging locations established in the field, shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
17. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control Note #6.
18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of the construction of the project.

Revision Table:

0) 05-11-2022 INITIAL ISSUE

Nancy J. Scott
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N.J. License No. GS35875

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ENGINEERING SURVEYING PLANNING
ENSURPLAN INC.
(Certificate of Authorization No. 24GA27997700)
P.O. BOX 4304, WARREN, N.J. 07059
172 WASHINGTON VALLEY RD. SUITE 1 WARREN, N.J.
Tel: 732-469-0400
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PLOT AND GRADING PLAN
17 SHERWOOD ROAD
LOT 27 IN BLOCK 336.02

SITUATED IN THE
BOROUGH OF SAYREVILLE,
MIDDLESEX COUNTY, NJ

SCALE: 1"=10'

DATE: 05-11-2022

ORDER: E-10761

FILE: 29579

3

3

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

DATE: 06/02/22
ZONING DWGS

No.	Revision/Issue	Date
-----	----------------	------

BASEMENT PLANS

A100



1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

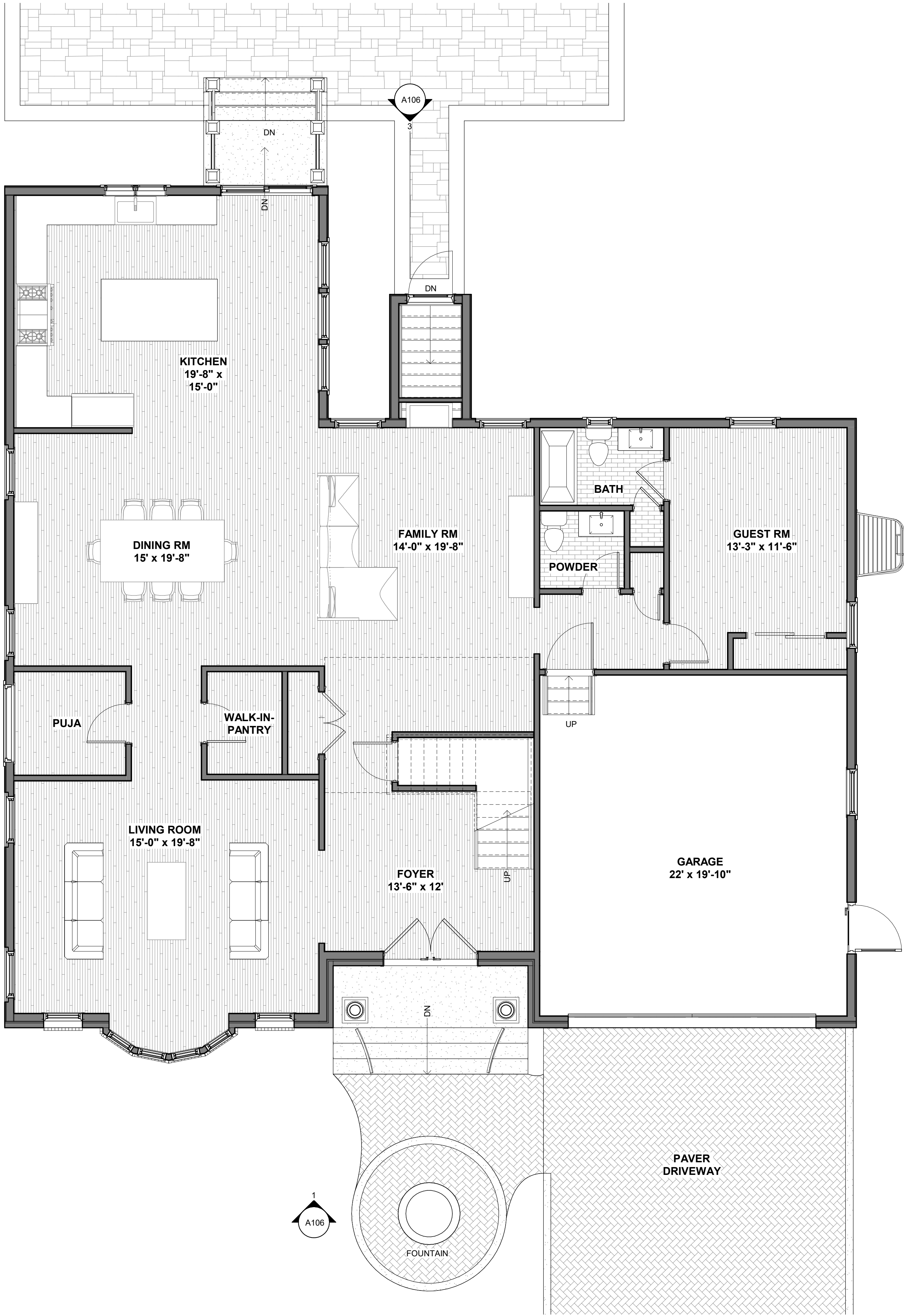
17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

DATE: 06/02/22
ZONING DWGS

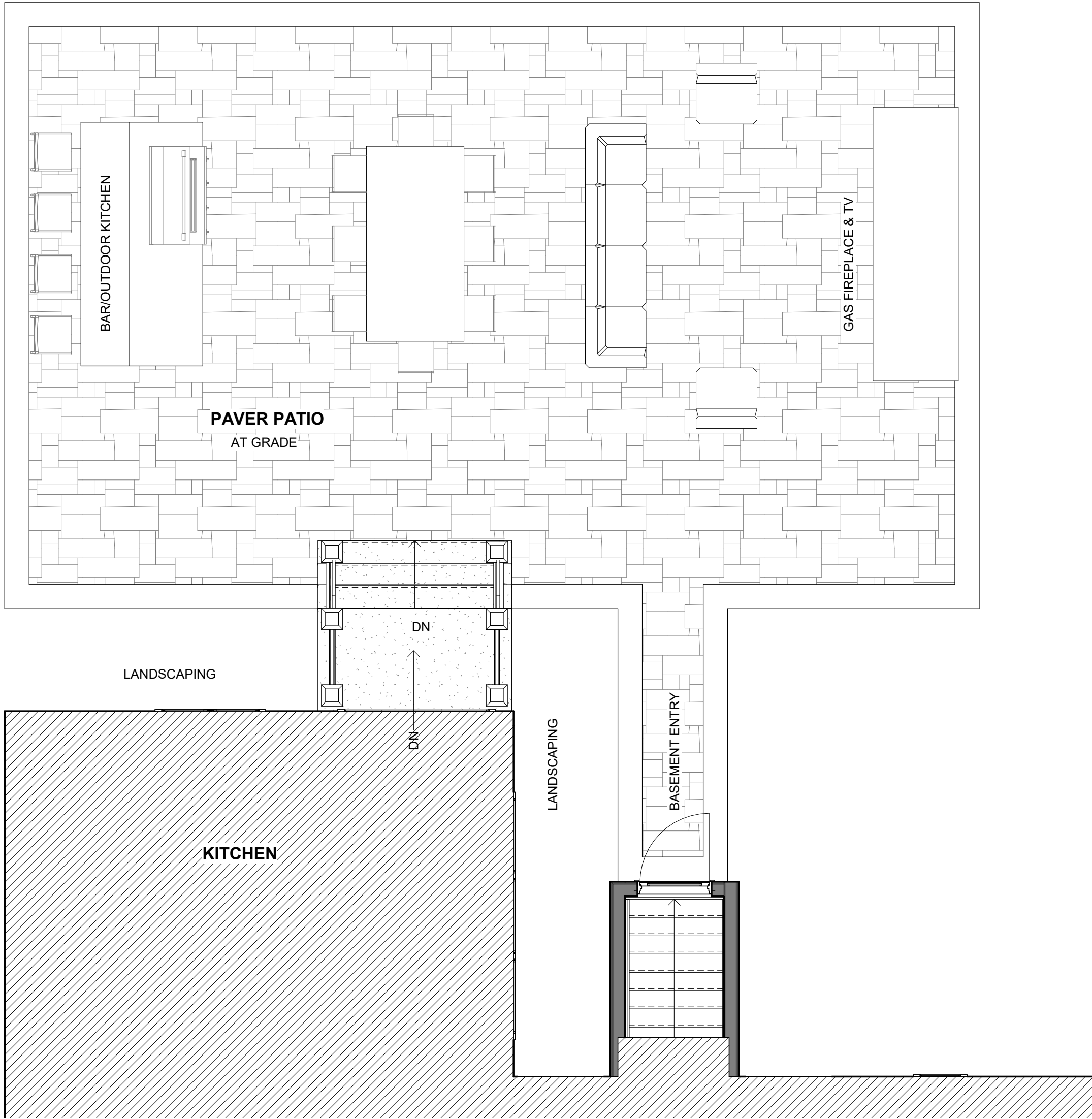
No.	Revision/Issue	Date
-----	----------------	------

FIRST FLOOR &
PATIO PLANS

A101



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PATIO PLAN
SCALE: 1/4" = 1'-0"

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

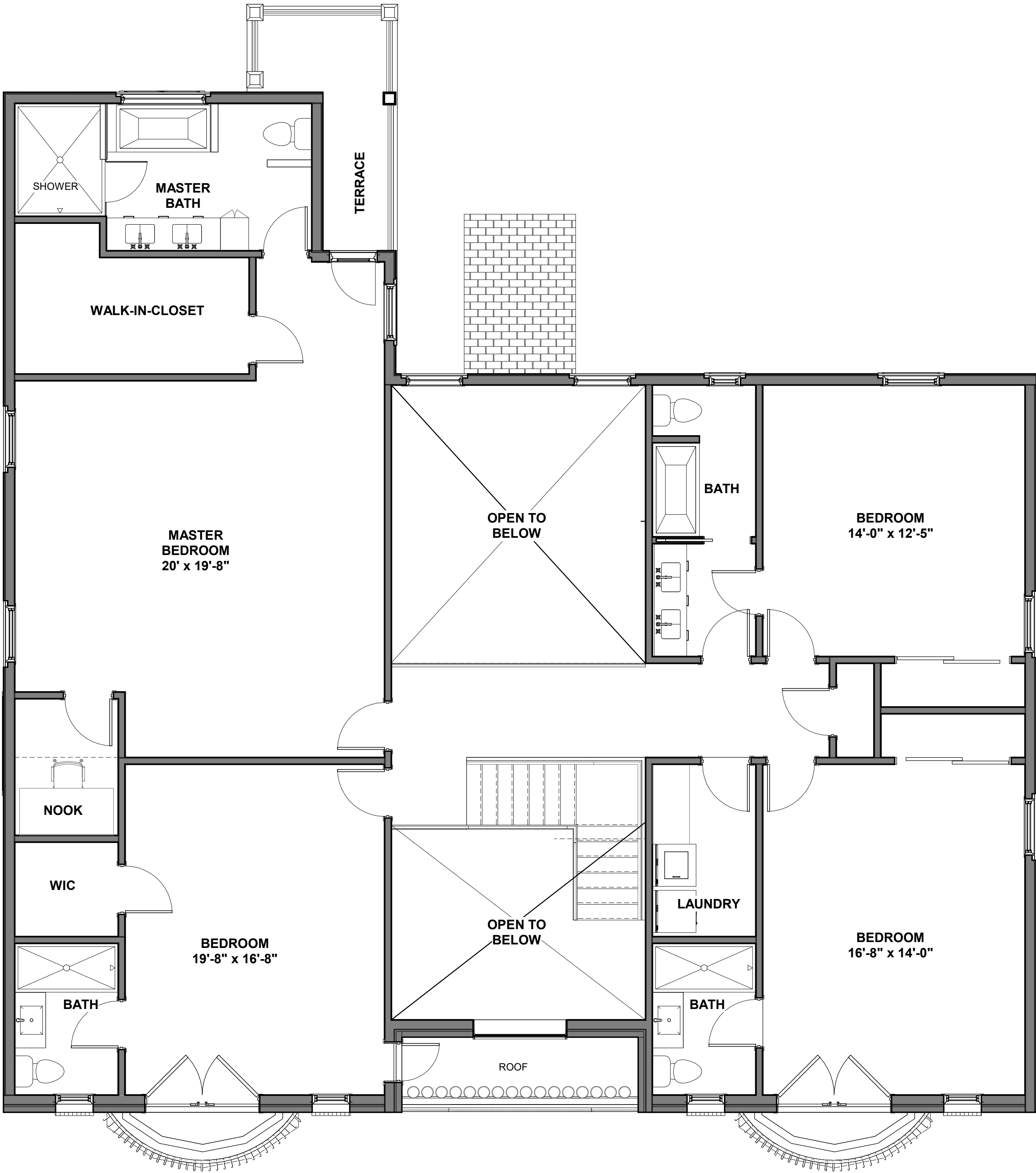
17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

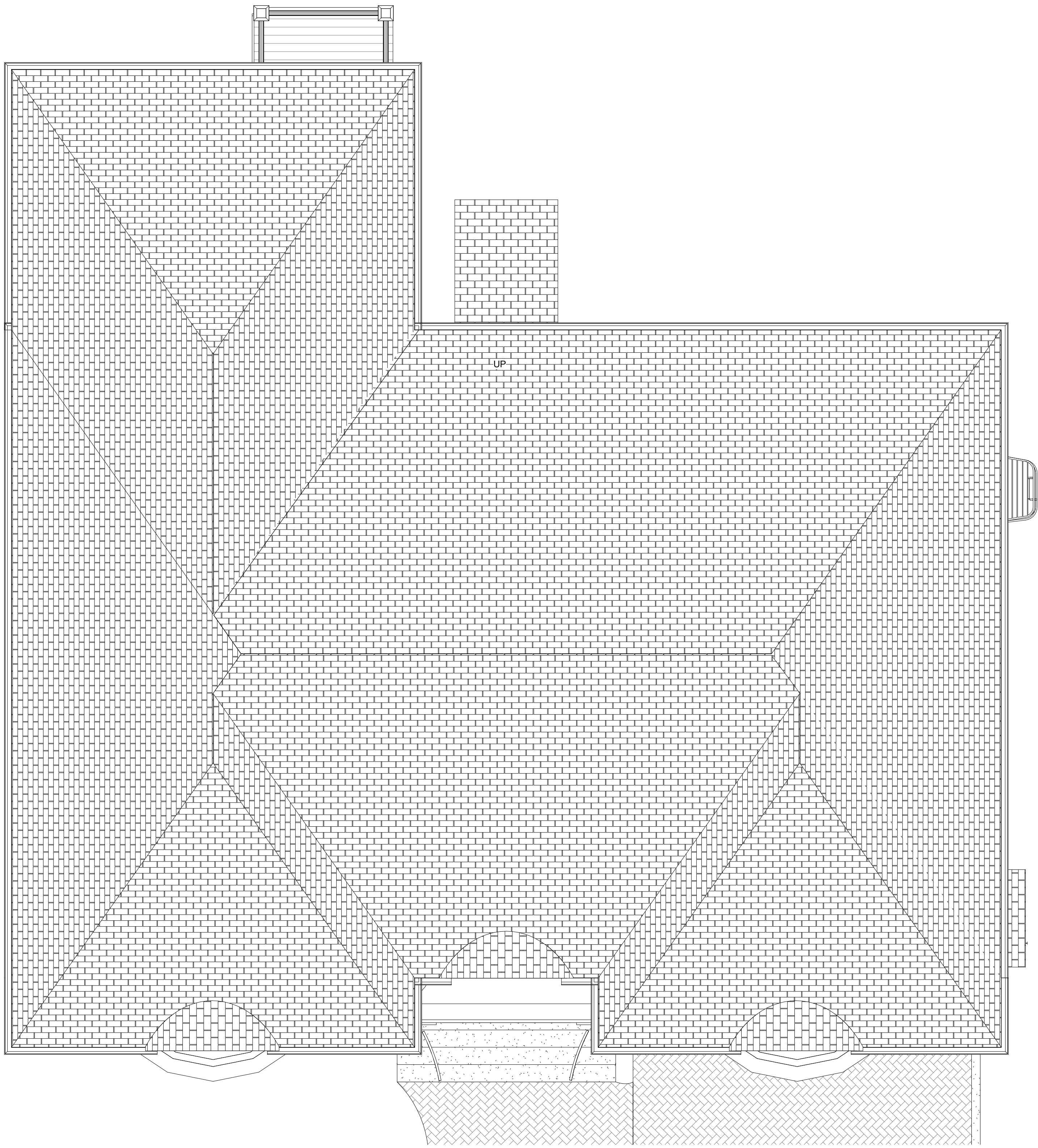
DATE: 06/02/22
ZONING DWGS

No.	Revision/Issue	Date
-----	----------------	------

SECOND FLOOR
PLAN

A102





1 ROOF PLAN
SCALE: 1/4" = 1'-0"

TOTAL ARCHITECTURE

Cory Fernandez, AIA
ARCHITECT
License No. 21A102040500
176 LINDEN ST.
BRIDGEWATER, NJ 08807

PROJECT No.21064

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

DATE: 06/02/22
ZONING DWGS

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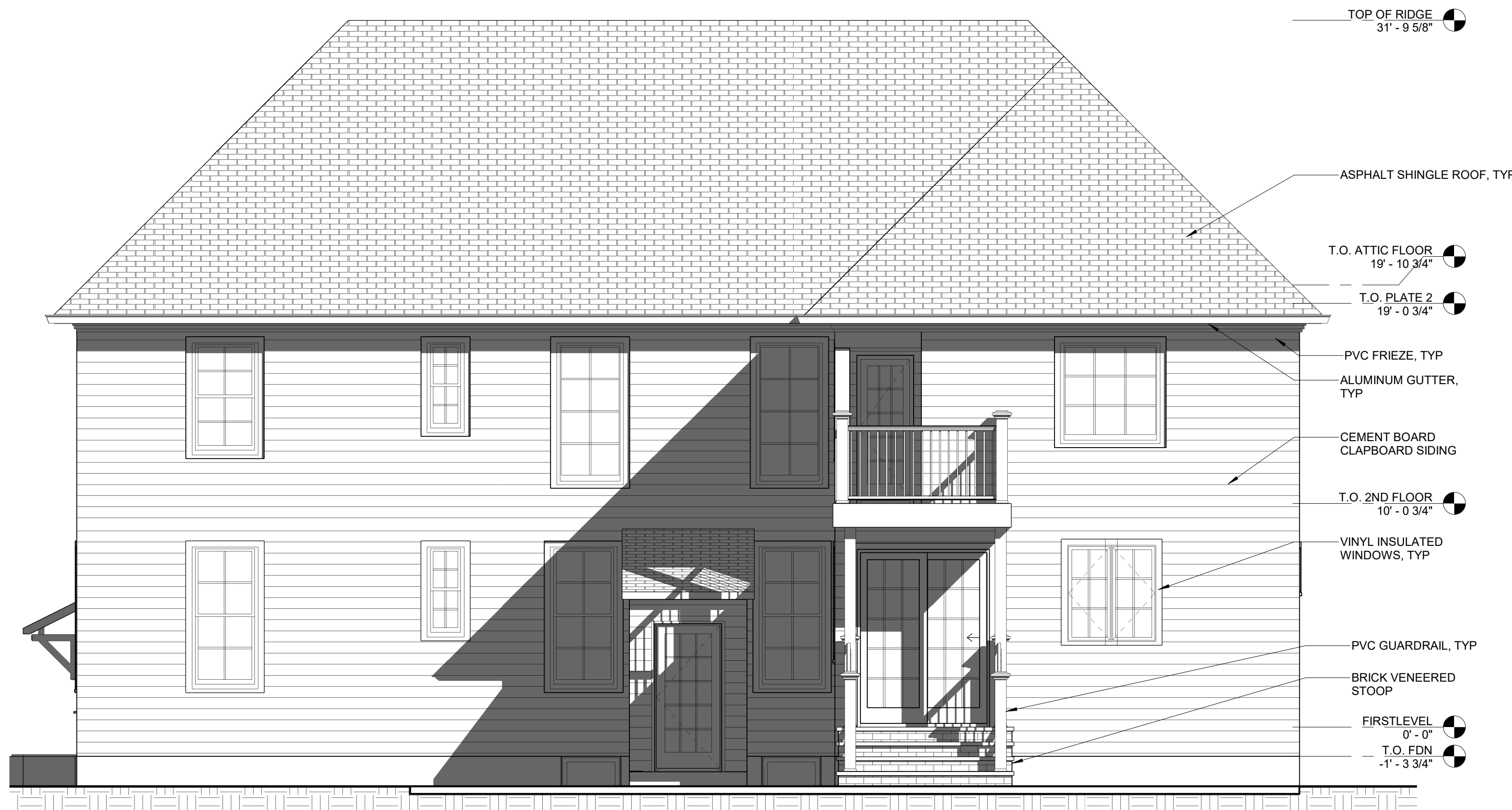
ROOF PLAN

A103

NOT FOR CONSTRUCTION



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

TOTAL ARCHITECTURE

Cory Fernandez, AIA
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ELEVATIONS-1

A106



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

TOTAL ARCHITECTURE

Cory Fernandez, AIA

ARCHITECT

License No. 21A102040500

176 LINDEN ST.

BRIDGEWATER, NJ 08807

PROJECT No.21064

NEW SINGLE FAMILY DWELLING FOR THE:

PATEL
RESIDENCE

17 SHERWOOD RD, PARLIN, NJ 08859
BLOCK: 336.02 LOT: 27

DATE: 06/02/22
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No.	Revision/Issue	Date
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ELEVATIONS-2

A107