

**BOROUGH OF SAYREVILLE  
STANDARD DEVELOPMENT APPLICATION**

**GENERAL INSTRUCTIONS:** To the extent possible, applicant shall complete every question. When completed, this application shall be submitted to the Planning Board Secretary (if an application to the Planning Board) or the Zoning Officer (if an application to the Board of Adjustment). The proper application and escrow fees must accompany the application. Do not advertise for a public hearing until you are advised to do so by the Board.

Indicate to which Board application is being made:

- Planning Board  Board of Adjustment

Indicate all approvals and variances being sought:

\* Proposed 12x26 garage max allowed accessory structure 150sf max (312) sf  
 \* Proposed 12x26 garage encroaches front yard setbacks 25 & 20' min and 5' proposed

<input type="checkbox"/> Informal Review	<input type="checkbox"/> Preliminary Major Site Plan	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Bulk Variance(s)	<input type="checkbox"/> Final Major Site Plan	<input type="checkbox"/> Fill or Soil Removal Permit
<input type="checkbox"/> Use Variance	<input type="checkbox"/> Preliminary Major Subdivision	<input type="checkbox"/> Waiver of Site Plan Requirements
<input type="checkbox"/> Conditional Use Variance	<input type="checkbox"/> Final Major Subdivision	
<input type="checkbox"/> Minor Site Plan	<input type="checkbox"/> Appeals from Decision of Administration Officer (Attach the denial/decision)	
<input type="checkbox"/> Minor Subdivision		

**1. Applicant**

Name: Daniel Bratic		Address: 55 Buttonwood Dr.		
City: Parkin	State: N.J.	Zip: 08359	Phone: 347-228-6207	Fax:

**2. Property Owner (if other than applicant)**

Name: Nelda Apraes		Address:		
City:	State:	Zip:	Phone:	Fax:

**3. Applicant's Attorney (if applicable)**

Name:		Address:		
City:	State:	Zip:	Phone:	Fax:

**BOROUGH OF SAYREVILLE**  
**Standard Development Application**

(Page 2 of 3)

4. Subject Property (attach additional sheets if necessary)

Street Address: 55 Buttonwood Dr Block(s) Lot(s) Number(s): 32.13 Lot 30

Site Acreage (and Sq. Ft.) \_\_\_\_\_ Zone District(s) R5 Tax Sheet Numbers \_\_\_\_\_

Present Use  
Single Family Dwelling

Proposed Development Name and Nature of Use:  
 \* Proposed 12x26 garage exceeds max allowed accessory structure 150sf and 8ft  
 \* Proposed 12x26 garage encroaches front yard setback R5 zone 20' in

Number of New Buildings: 1 Sq. Ft. of New Building(s): \_\_\_\_\_ Height \_\_\_\_\_ % of Lot to be covered by and 5 Building(s) : \_\_\_\_\_ %

% of Lot to be Covered by Pavement: \_\_\_\_\_ % Number of Parking Spaces and Dimensions: \_\_\_\_\_ Dimensions of Loading Area(s): \_\_\_\_\_

Exterior Construction Material/Design:  
 \_\_\_\_\_

Total Cost of Bldg. And Site Improvements: \_\_\_\_\_ Number of Lots Before Subdivision: \_\_\_\_\_ Number of Lots After Subdivision: \_\_\_\_\_ Are any new streets or utility extensions Proposed? \_\_\_\_\_

Number of existing trees 2" caliper or greater to be removed: \_\_\_\_\_ Are any structures to be removed? \_\_\_\_\_ Number of Proposed Signs and Dimensions: \_\_\_\_\_

Is soil removal or fill proposed? Specify total in cubic yards: \_\_\_\_\_ Is the property within 200 ft. of an adjacent municipality? If so, which? \_\_\_\_\_

5. Are there any existing or proposed deed restrictions or covenants? Please detail.  
 \_\_\_\_\_

6. HISTORY OF PAST APPROVALS  Check here if none

	APPROVED	DENIED	DATE
SUBDIVISION			
SITE PLAN			
VARIANCE(S)	X		2020
BUILDING PERMIT			

**BOROUGH OF SAYREVILLE**  
**Standard Development Application**

(Page 3 of 3)

**7. NAMES OF PLAN PREPARERS**

Engineer's Name:		Address:			
City:	State:	Zip:	Phone:	License #:	
Surveyor's Name:		Address:			
City:	State:	Zip:	Phone:	License #:	
Landscape Architect or Architect's Name:		Address:			
City:	State:	Zip:	Phone:	License #:	

**8. FEES SUBMITTED**

Application Fees	\$ 100
Variance Fees	
Escrow Fees	
Total Fees	\$ 100

**CERTIFICATION:**

I certify that the foregoing statements and the materials submitted are true. I further testify that I am the individual applicant or that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the corporation or that I am a general partner of the partnership applicant. I hereby permit authorized Borough officials to inspect my property in conjunction with this application.

Sworn and subscribed before me this date:

March 3, 2022

  
Signature of Applicant

**MICHELLE PISACK**  
Notary Public, State of New Jersey  
Commission # 50129579  
My Commission Expires 06/19/2025

Michelle Pisack

Property Owner Authorizing Application if Other than Applicant

Notary Public

**REFUSAL OF PERMIT**  
**OFFICE OF THE ZONING ENFORCEMENT OFFICER**  
**OF**  
**BOROUGH OF SAYREVILLE**

Date:  
Re:Application#: 33352  
To:  
Danny Bratic  
55 Buttonwood Dr  
Parlin NJ 08859

Voucher/Receipt#
Check #:
Amount collected \$ 0.00

Your application for a permit to:  
12x 26 garage

on the property at 55 Buttonwood Dr Parlin Block : 32.13 Lot : 30  
has been denied for noncompliance with provisions of Article (s) : Sections :**26-82.6** of the Municipal Zoning Ordinance for the following reasons:

- 1) Proposed 12' x 26 garage exceeds max allowed accessory structure . 150 sf max and 312 sf proposed.
- 2) Proposed 12' x 26 ' garage encroaches front yard setback R-5 Zone.. 20' min and 5' proposed.

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from the Secretary of the Board of Adjustment. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the board of Adjustment and can obtain from the Secretary of the Board of Adjustment the required forms .

The permit which you submitted has been placed in the inactive files in the Community Development Office / Construction Code Department / Zoning Department. Please contact this office to reactivate the permit.

Denied by:



Andrew Mashanski

Zoning Official

CC: Secretary, Board of Adjustment  
Permit  
Letter  
Andrew Mashanski, Zoning Official



**DEED REFERENCES:**  
 DEED BOOK 4841, PAGE 853, ET. SEQ.  
 RECORDED 10/08/2000

**FILED MAP REFERENCE:**  
 PREMISES ALSO KNOWN AS LOT 30 IN  
 BLOCK 32-A ON A MAP ENTITLED "MAP  
 OF THE PARK SECTION 25-11 FILED IN  
 THE CLERK'S OFFICE OF SA-REVILLE, NEW  
 JERSEY, ON AUGUST 15, 1924 (AS AM. FILE NO. 1875).

**NOTES:**  
 1. ALL DIMENSIONS SHOWN FROM EXISTING  
 STRUCTURES ARE TO THE SIDING OF SAID  
 STRUCTURE AND NOT THE FOUNDATION.  
 2. MAP OF PROPERTY SHOWN HEREON DOES NOT  
 REFLECT ANY TREES OR OTHER IMPROVEMENTS  
 PROPERTY OR NEAR THE PROPERTY UNLESS OTHER  
 THAN CLEARLY DEFINED TREE OR HEDGE ROWS.

**EXISTING IMPROVEMENTS LOT COVERAGE:**  
 TOTAL IMPROVEMENTS LOT COVERAGE = 2,021 SQ. FT.  
 TOTAL LOT AREA = 8,342 SQ. FT.  
 PERCENTAGE OF IMPROVEMENTS LOT COVERAGE = 24.6%

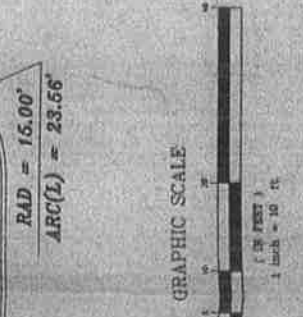
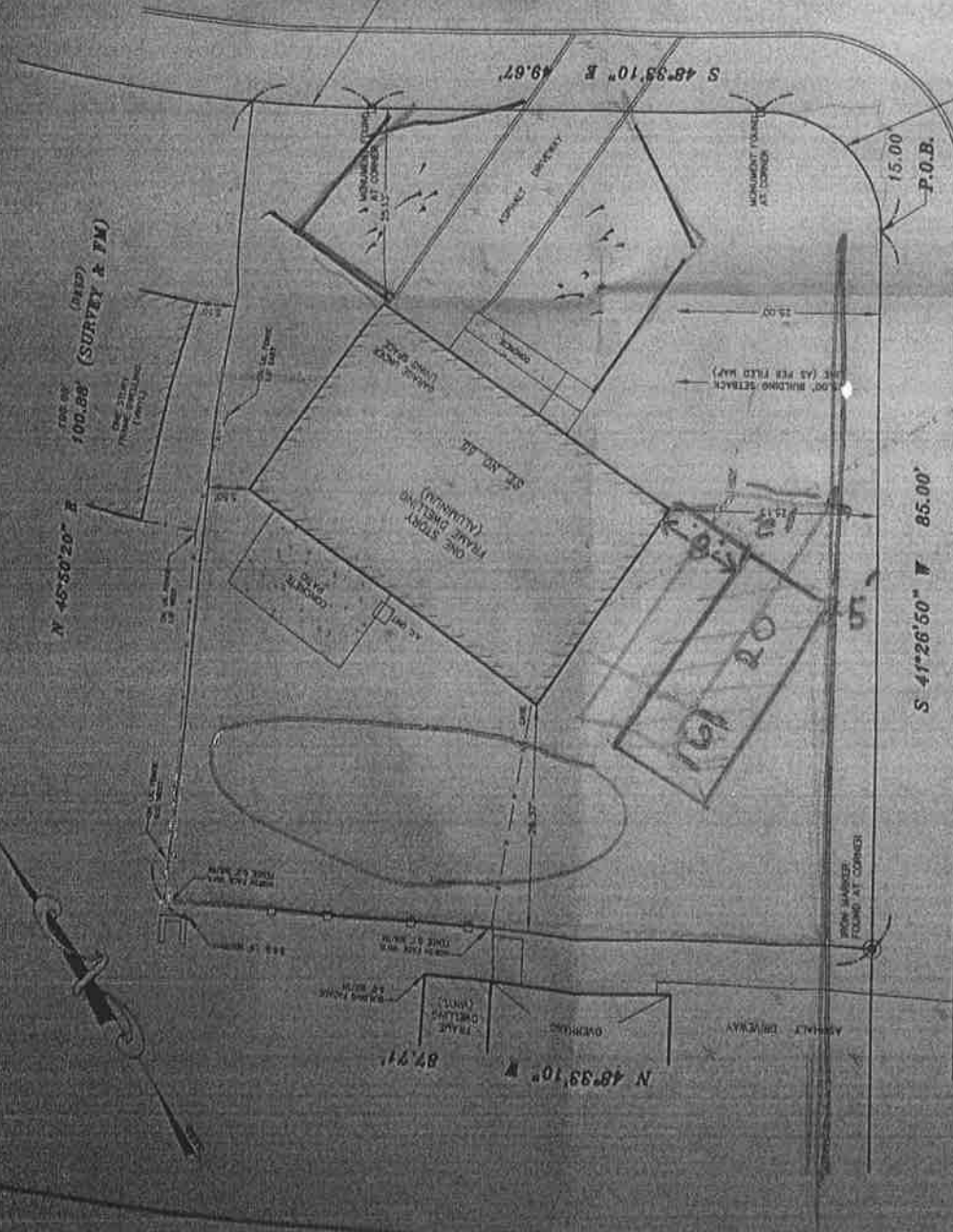
NO.	DATE	DESCRIPTION	BY
		LOT 30 & 31	
		8.342 SQ. FT. OF 0.197 ACRES	
		BOOK 4841, PAGE 853	
		FILED 10/08/2000	

**METES & BOUNDS SURVEY**  
 OF LANDS LOCATED AT  
 55 BUTTONWOOD DRIVE  
 LOT 30 IN BLOCK 32.13 ON TAX MAPS OF  
 BOROUGH OF SA-REVILLE MIDDLESEX COUNTY NEW JERSEY

VALERY BRAJINSKY, PLS.  
 NJ LICENSE NO. 43217  
**BRAJINSKY SURVEYING, LLC**  
 2 AUSTIN AVENUE, SUITE 41, BRIDGE  
 TEL: (732) 338-9998 FAX: (609) 444-8892

PROFESSIONAL LAND SURVEYING

HEMLOCK DRIVE  
 (580.00' R.O.W.)  
 RAD = 200.00'  
 ARC(L) = 16.93° (SURVEY & FM)  
 ARC(L) = 16.83° (DEED)



10 foot total 25° Buttonwood Drive setbacks  
 Which is the fence

THIS SURVEY IS CERTIFIED TO AND PREPARED FOR:  
 DANIEL PARRA

PLANNING DEPARTMENT, COUNTY OF MIDDLESEX, NEW JERSEY. THE COUNTY CLERK'S OFFICE HAS REVIEWED THIS SURVEY AND HAS DETERMINED THAT IT IS ACCURATE AND CORRECT FOR THE PURPOSES OF MIDDLESEX COUNTY. THE SURVEY IS SUBJECT TO ANY CHANGES THAT MAY BE MADE BY THE COUNTY CLERK'S OFFICE OR ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE SURVEY. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARDS OF THE SURVEYING INDUSTRY AND DOES NOT EXTEND TO ANY OTHER PURPOSES OR TO ANY OTHER PARTY.