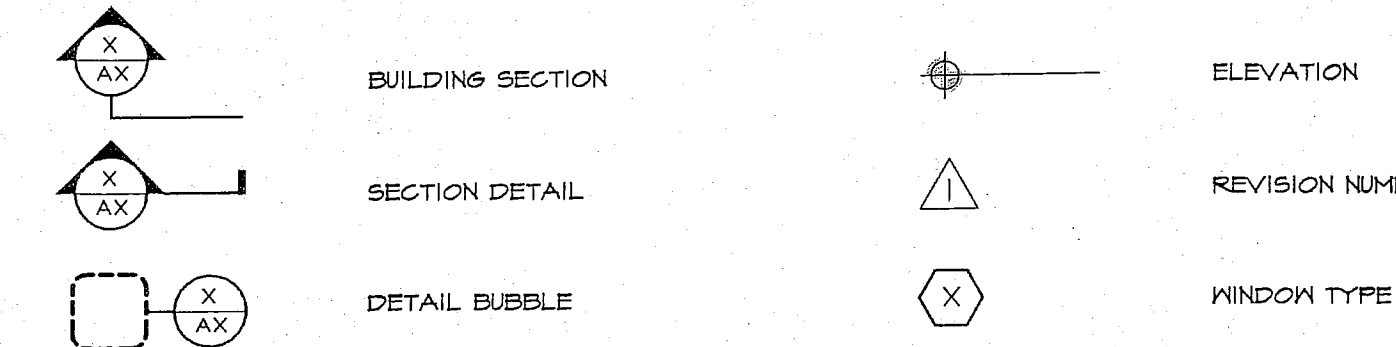


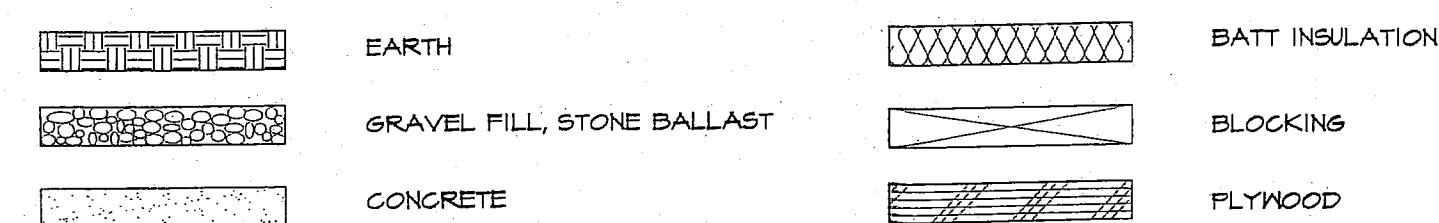
# Sullivan Residence

15 Gavel Road, Sayreville, NJ 08872

## DRAWING SYMBOLS



## MATERIALS KEY



## DRAWING LIST

T1 EXISTING & PROPOSED SITE PLANS & ZONING ANALYSIS

### ARCHITECTURAL

- D1 EXISTING FIRST FLOOR PLAN
- D2 EXISTING ELEVATIONS
- A1 PROPOSED FIRST FLOOR PLAN
- A2 PROPOSED ELEVATIONS

## CODE & LUMBER REQUIREMENTS

### LUMBER

LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION UNLESS OTHERWISE NOTED.  
ALL FRAMING LUMBER TO BE USED IS TO BE DOUGLAS FIR-LARCH #2 OR BETTER, (S4S, KILN-DRIED) CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES:

SIZE	FB (PSI) SINGLE	FB (PSI) REPETITIVE	FT (PSI)	FC (PSI)
2 X 4	1312	1508	862	1495
2 X 6	1157	1307	747	1480
2 X 8	1050	1207	690	1365
2 X 10	962	1106	632	1300
2 X 12	872	1006	575	1300

FB	HORIZONTAL SHEAR	875 PSI
FV	HORIZONTAL SHEAR	45 PSI
FC	PERPENDICULAR TO GRAIN	625 PSI
E	MODULUS OF ELASTICITY	1,600,000 PSI

### GENERAL NOTES

ALL WORK SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE CODES, RULES AND REGULATIONS OF THE STATE OF NEW JERSEY, AND ALL FEDERAL AND LOCAL CODES IN EFFECT, AND HAVING JURISDICTION. THE DRAWINGS FOR THIS PROJECT WERE PRODUCED TO ILLUSTRATE SPECIFIC CONSTRUCTION REQUIRED BY THE OWNER. COORDINATION OF THE ENTIRE PROJECT SHALL BE PERFORMED BY THE CONTRACTOR. EACH SUB-CONTRACTOR SHALL VERIFY AND REVIEW PROPOSED AND/OR EXISTING CONDITIONS WITHIN THE SCOPE OF HIS WORK AND SHALL NOTIFY THE GENERAL CONTRACTOR FOR ALL WORK THAT IS REQUIRED OF OTHERS FOR THE COMPLETION OF THE WORK. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. CONTRACTOR SHALL NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED AND REVIEWED BY CONTRACTOR. ANY DISCREPANCIES OR INFORMATION UNCLEAR TO THE CONTRACTOR SHALL BE REVIEWED WITH THE ARCHITECT FOR DIRECTION. ANY ASSUMPTIONS MADE BY THE CONTRACTOR WHICH CONFLICT WITH THE INTENT OF THE PROJECT SHALL BE REMOVED AND/OR REPLACED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL VISIT SITE AND REVIEW ALL CONDITIONS TO FULLY FAMILIARIZE HIMSELF WITH THE PROJECT AND RELATED CONDITIONS. CONTRACTOR SHALL CHECK, REVIEW AND VERIFY ALL FIELD MEASUREMENTS WITH PROPOSED SCOPE OF WORK, AND NOTIFY ARCHITECT OF ANY DISCREPANCY, PRIOR TO STARTING OR CONTINUING ANY WORK. TYPICAL DETAILS AND GENERAL NOTES ARE MINIMUM REQUIREMENTS FOR IMPLEMENTING THE INTENT OF THE PROJECT. CONTRACTOR SHALL PAY, FILE, AND SECURE ALL PERMITS AND APPROVALS REQUIRED FOR THE ENTIRE PROJECT. ALL WORK SHALL CONFORM WITH AND EXCEED REGULATIONS & STANDARDS SET FORTH IN THE LATEST EDITION OF THE RULES & REGULATIONS OF THE UNIFORM CONSTRUCTION CODE, LOCAL GOVERNING AGENCY ORDINANCES, CODES AND REGULATIONS, NATIONAL PLUMBING CODE LATEST EDITION, UNIFORM FIRE CODE (LATEST EDITION), AND LOCAL OR PRESIDING FIRE MARSHALL JURISDICTION AND STATE OF NEW JERSEY OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) FOR INDUSTRIAL AND CONSTRUCTION SAFETY REGULATIONS.

### PRESSURE TREATED LUMBER

PRESSURE TREATED LUMBER SHALL CONSIST OF THE FOLLOWING: SILL PLATES SHALL BE ACQ (40) OR BORATE TREATED LUMBER. EXTERIOR DECKS SHALL BE ACQ TYPE GRADED AS FOLLOWS: ABOVE GROUND (IE JOISTS, LEDGERS) 25 GROUND CONTACT (IE POSTS) 40 FASTENERS AND HANGERS SHALL BE TRIPLE SINK COATED OR STAINLESS STEEL. FLASHING SHALL BE STAINLESS STEEL OR COPPER.

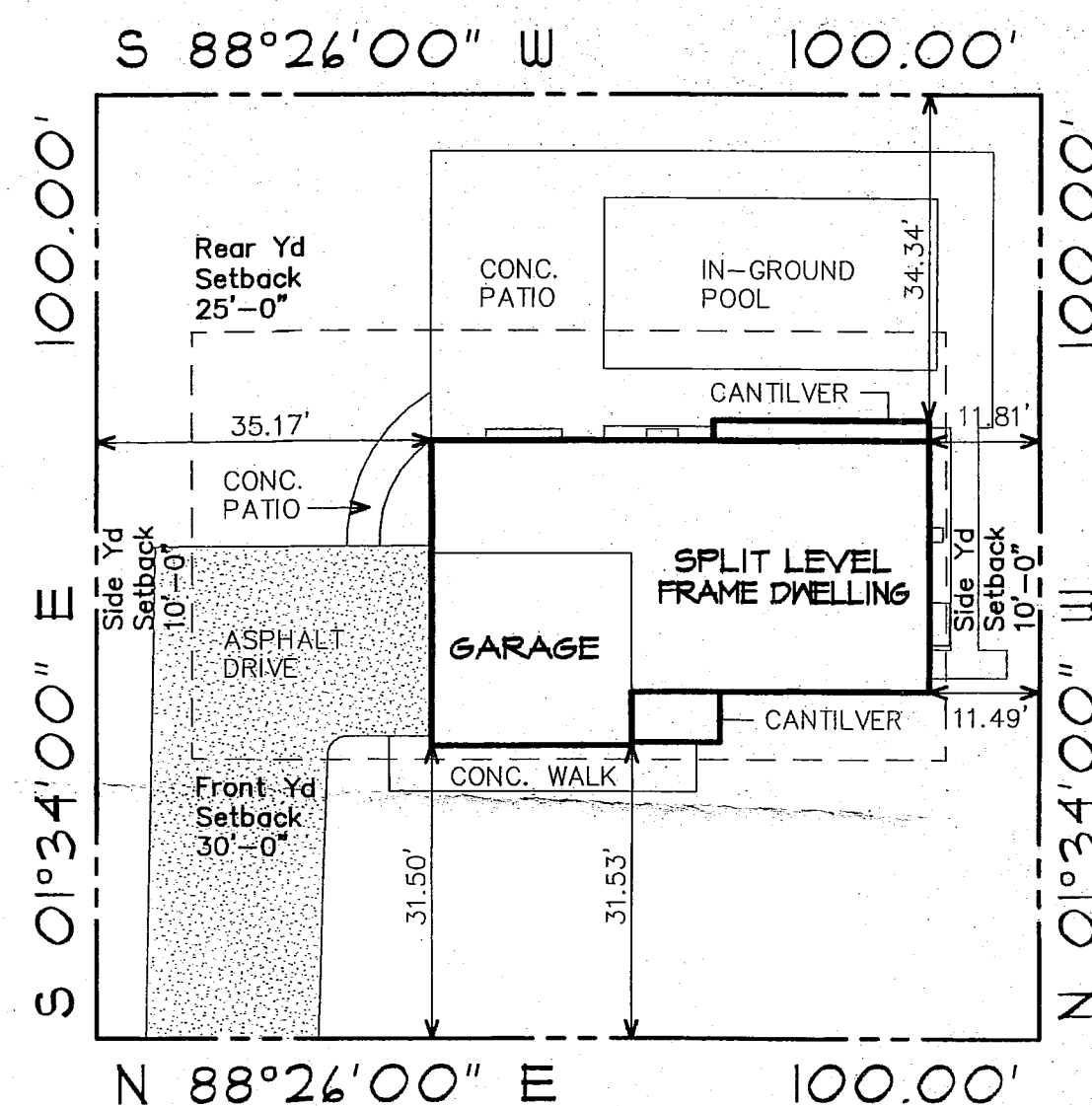
### SUBFLOORING AND UNDERLAYMENT

FLOOR SHEATHING SHALL BE 3/4" T&G STURD-I-FLOOR APA EXPOSURE 1 PLYWOOD. ADD 1/2" C-C FLUSHED PLYWOOD AT FLOOR AREAS TO RECEIVE RESILIENT FLOORINGS AND CERAMIC TILE. ALL PLYWOOD TO BE DOUGLAS FIR.

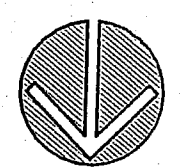
### PLYWOOD SHEATHING

PLYWOOD SHEATHING SHALL BE ONE LAYER OF 1/2" THICK 24/0 CDX INT-APA PLYWOOD. ROOF SHEATHING SHALL BE 1/2" THICK 32/8 CDX INT-APA PLYWOOD. ALL PLYWOOD TO BE DOUGLAS FIR.

PLYWOOD SHEATHING AT EXPOSED PLYWOOD PANELS SHALL BE 1/2" THICK MDQ EXTERIOR PLYWOOD. EXPOSED SURFACE TO BE PAINTED AND INSTALLED PER THE AMERICAN PLYWOOD ASSOCIATION.



GAVEL ROAD



### EXISTING SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION GIVEN WAS OBTAINED FROM A SITE PLAN PREPARED BY:

JAMES P. DEADY SURVEYOR, LLC  
PROFESSIONAL LAND SURVEYING AND PLANNING  
FAIR HILLS, NEW JERSEY 07931  
(908) 234-4296  
JOHN C. RITT  
NJ LIC. NO. 246504324100

DATE: DECEMBER 11, 2009

Existing BUILDING COVERAGE	
Existing Ground Floor Area (Includ. Cantilever):	1,564
TOTAL	1,564
Total Building Coverage	1,564
Site Area	10,000
	= 15.6%
Max. Allowable Building Coverage:	20%
	(2,000 Sq.Ft.)

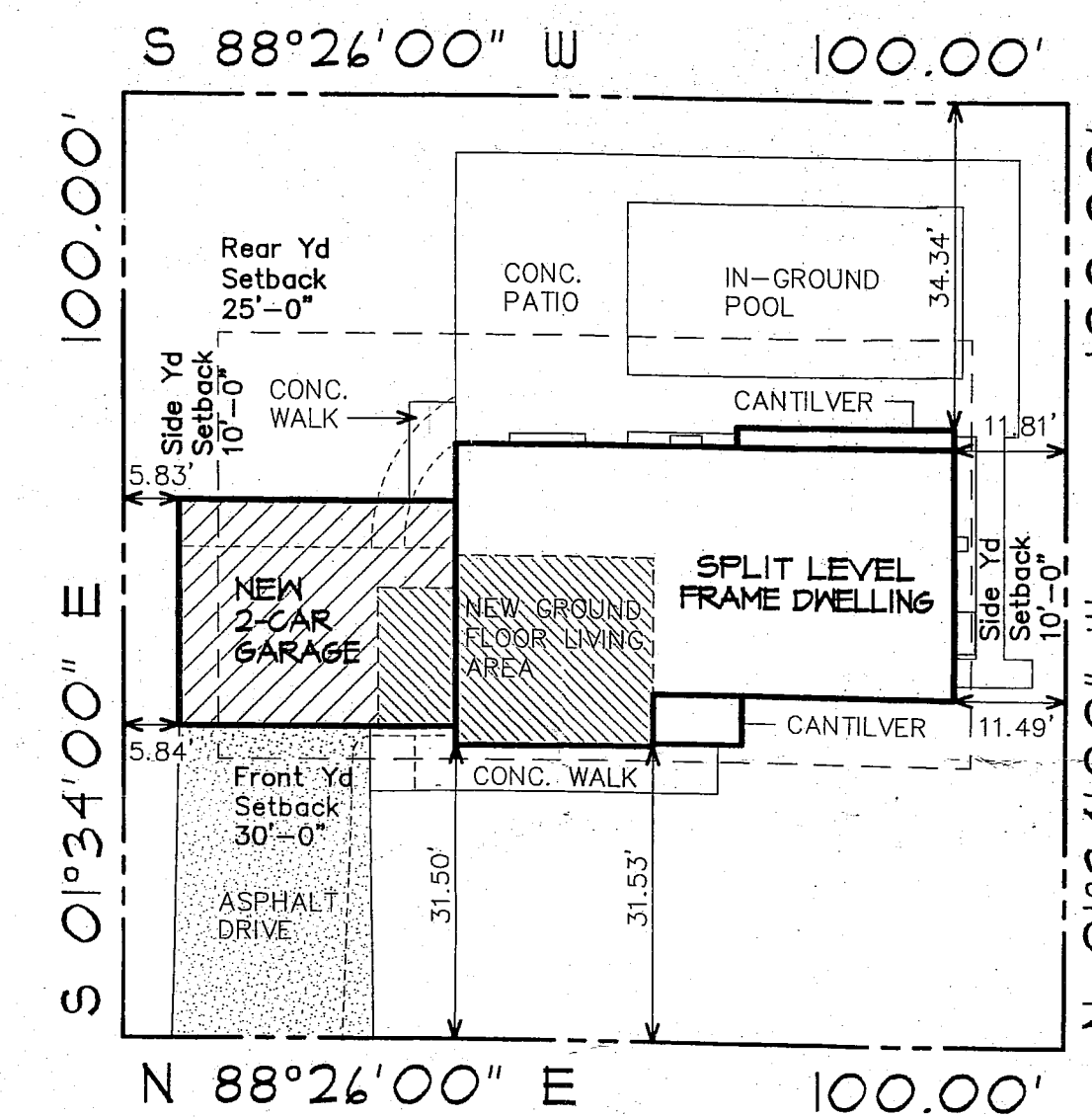
Existing LOT COVERAGE	
Existing House Footprint (Exclud. Cantilever):	1,515
Existing Front Concrete Walk and Patio:	219
Existing Asphalt Driveway:	1,176
Existing Rear Concrete Walkway:	59
Existing Rear Concrete Patio:	1,114
Existing Side Concrete Walk:	95
Existing Chimney:	2
Existing Rear Steps:	13
TOTAL	4,193
Total Lot Coverage	4,193
Site Area	10,000
	= 41.9%
Max. Allowable Impervious Coverage:	40%
	(4,000 Sq.Ft.)

New BUILDING COVERAGE	
Existing Ground Floor Area (Includ. Cantilever):	1,564
Proposed Addition:	704
TOTAL	2,268
Total Building Coverage	2,268
Site Area	10,000
	= 22.7%
Max. Allowable Building Coverage:	20%
	(2,000 Sq.Ft.)

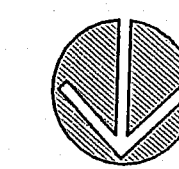
Existing LOT COVERAGE	
Existing House Footprint (Exclud. Cantilever):	1,515
Proposed Addition:	704
Modified Front Concrete Walk and Patio:	192
Modified Asphalt Driveway:	756
New Rear Concrete Walkway:	45
Existing Rear Concrete Patio:	1,114
Existing Side Concrete Walk:	95
Existing Chimney:	2
Existing Rear Steps:	13
TOTAL	4,436
Total Lot Coverage	4,436
Site Area	10,000
	= 44.4%
Max. Allowable Impervious Coverage:	40%
	(4,000 Sq.Ft.)

Existing BUILDING HEIGHT:	
Overall Height (Corner 1):	20'-8"
Overall Height (Corner 2):	19'-3"
Overall Height (Corner 3):	20'-4"
Overall Height (Corner 4):	21'-0"
TOTAL	81'-3"
Average Building Height =	$\frac{81.25}{4} = 20.3 \text{ Ft.}$
Max. Building Height Allowed:	35 ft.

Proposed BUILDING HEIGHT:	
Overall Height (Corner 1):	20'-8"
Overall Height (Corner 2):	19'-3"
Overall Height (Corner 3):	20'-4"
Overall Height (Corner 4):	21'-0"
TOTAL	81'-3"
Average Building Height =	$\frac{81.25}{4} = 20.3 \text{ Ft.}$
Max. Building Height Allowed:	35 ft.



GAVEL ROAD



### PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION GIVEN WAS OBTAINED FROM A SITE PLAN PREPARED BY:

JAMES P. DEADY SURVEYOR, LLC  
PROFESSIONAL LAND SURVEYING AND PLANNING  
FAIR HILLS, NEW JERSEY 07931  
(908) 234-4296  
JOHN C. RITT  
NJ LIC. NO. 246504324100

DATE: DECEMBER 11, 2009

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. No allowances shall be made on behalf of the contractor for any error or neglect on his part. Drawings shall not be scaled.

This document and the ideas and designs incorporated herein, as an instrument of professional service, is the property of DUGASZ & BROWER ARCHITECTS, INC. and shall not be used in whole or in part for any other project without the written authorization of DUGASZ & BROWER ARCHITECTS, INC.

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**Project Information:**  
Block: 60.02  
Lot: 8  
Zone: R-10  
Use Group: R5 - I.R.C.-2018 NJ Edition  
Construction Class: 5B  
Live Load:  
Rms other than Sleeping: 40 psf  
Sleeping Rooms: 30 psf  
Decks: 40 psf  
Attics with Storage: 20 psf  
Roof (Snow): 30 psf  
Wind Design Speed: 95 mph - designed for 100 mph  
Wind Exposure Category: Exposure B  
Braced Wall Panel Method: CS-WSP  
Soil Bearing Capacity: 3,000 psf  
Codes:  
2018 I.R.C. (NJ ed.)  
NJ-UCC Rehabilitation Sub-Code  
2018 I.E.C.C.  
2017 National Electrical Code  
2018 Nat. Strud. Plumbing Code

**Zoning Calculations:**

	Req'd:	Exist'g:	Proposed:
Lot Area:	10,000	10,000	10,000
Lot Width:	100'	100'	100'
Lot Depth:	100'	100'	100'
Front Yard Setback:	30'	31.50'	31.50'
Rear Yard Setback:	25'	34.34'	34.34'
Side Yard Setback:	10'	11.49'	5.83'
Combined Side Yard Setback:	25'	46.66'	17.32'
Building Coverage:	20%	15.6%	22.7%
Lot Coverage:	40%	41.9%	44.4%
Building Height:	35'	20.3'	20.3'
# of Stories:	2-1/2	2	2

Issued:	Remarks:
07-28-21	Bd. of Adjustment Submittal
07-20-21	Design Development Review
07-13-21	Design Meeting
06-25-21	Preliminary Design Review
06-09-21	Measured Existing Conditions

**Dugasz & Brower**  
ARCHITECTS

David Dugasz, AIA, NCARB  
NJ Lic. No.: 13740

John C. Brower, AIA, NCARB  
NJ Lic. No.: 14325

24 Egan Avenue, Fords, New Jersey 08863  
(732) 738-5066 (732) 738-5088 FAX

Project:  
**Sullivan Residence**

Garage Addition and Interior Alterations

Address:  
15 Gavel Road  
Sayreville, NJ 08872

Project No: 210501	Sheet Name: Site Plan & Zoning Information
Drawn By: MJT / JCB	
Checked By: DD	
Issued: 07-28-21	<b>T1</b>

BD. OF ADJUSTMENT - NOT FOR CONSTRUCTION