

21-23

A-17

16-75.5 Standard Development Application

BOROUGH OF SAYREVILLE  
STANDARD DEVELOPMENT APPLICATION

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GENERAL INSTRUCTIONS: To the extent possible, applicant shall complete every question. When completed, this application shall be submitted to the Planning Board Secretary (if an application to the Planning Board) or the Zoning Officer (if an application to the Board of Adjustment). The proper application and escrow fees must accompany the application. Do not advertise for a public hearing until you are advised to do so by the Board.

Indicate to which Board application is being made:

- Planning Board
- Board of Adjustment

Indicate all approvals and variances being sought:

- 1) Proposed 18' pool encroaches rear setback .10' min and 6' Proposed
- 2) Proposed 26' x 40' detached deck encroaches rear setback .5' min and 3.5' Proposed
- 3) Proposed Driveway/Patio extension into rear yard encroaches rear line setback .5' min and 2' Proposed
- 4) Proposed driveway/patio addition in total exceed overall total lot max impervious coverage for R-5 Zone .45' min + Sid. Prop.

<input type="checkbox"/> Informal Review	<input type="checkbox"/> Preliminary Major Site Plan	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Bulk Variance(s)	<input type="checkbox"/> Final Major Site Plan	<input type="checkbox"/> Fill or Soil Removal Permit
<input type="checkbox"/> Use Variance	<input type="checkbox"/> Preliminary Major Subdivision	<input type="checkbox"/> Waiver of Site Plan Requirements
<input type="checkbox"/> Conditional Use Variance	<input type="checkbox"/> Final Major Subdivision	
<input type="checkbox"/> Minor Site Plan	<input type="checkbox"/> Appeals from Decision of Administration Officer (Attach the denial/decision)	
<input type="checkbox"/> Minor Subdivision		

1. Applicant

Name: <u>Murphy Lopez</u>		Address: <u>1094 Borden Town Ave</u>		
City: <u>Parlin</u>	State: <u>NJ</u>	Zip: <u>08859</u>	Phone: <u>8486660474</u>	Fax:

2. Property Owner (if other than applicant)

Name:		Address:		
City:	State:	Zip:	Phone:	Fax:

3. Applicant's Attorney (if applicable)

Name:		Address:		
City:	State:	Zip:	Phone:	Fax:

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4. Subject Property (attach additional sheets if necessary)

Street Address: \_\_\_\_\_ Block(s) Lot(s) Number(s): \_\_\_\_\_

Site Acreage (and Sq. Ft.): \_\_\_\_\_ Zone District(s) **R-5** Tax Sheet Numbers \_\_\_\_\_

Present Use  
**Single family house**

Proposed Development Name and Nature of Use:  
 1) Proposed pool encroaches rear setback, 10 min to proposed.  
 2) Proposed deck 2x40 deck encroaches rear setback 5' min & 3.5' Proposed.  
 3) Proposed driveway portion encroaches into rear yard encroaches rear line setback, 5' min & 2' Proposed.  
 4) Proposed driveway portion addition to exceed overall total lot max. in previous coverage R-5 zone 45% lot coverage and 5% proposed.

Number of New Buildings: <b>N/A</b>	Sq. Ft. of New Building(s): <b>N/A</b>	Height	% of Lot to be covered by Building(s): <b>% N/A</b>
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% of Lot to be Covered by Pavement: <b>56%</b>	Number of Parking Spaces and Dimensions:	Dimensions of Loading Area(s):
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Exterior Construction Material/Design:

Total Cost of Bldg. And Site Improvements:	Number of Lots Before Subdivision:	Number of Lots After Subdivision:	Are any new streets or utility extensions Proposed:
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Number of existing trees 2" caliper or greater to be removed:	Are any structures to be removed?	Number of Proposed Signs and Dimensions:
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Is soil removal or fill proposed? Specify total in cubic yards:	Is the property within 200 ft. or an adjacent municipality? If so, which?
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5. Are there any existing or proposed deed restrictions or covenants? Please detail.

6. HISTORY OF PAST APPROVALS  Check here if none

	APPROVED	DENIED	DATE
SUBDIVISION			
SITE PLAN			
VARIANCE(S)			
BUILDING PERMIT			

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**7. NAMES OF PLAN PREPARERS**

Engineer's Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_ License #: \_\_\_\_\_

Surveyor's Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_ License #: \_\_\_\_\_

Landscape Architect or Architect's Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_ License #: \_\_\_\_\_

**8. FEES SUBMITTED**

Application Fees 200

Variance Fees \_\_\_\_\_

Escrow Fees \_\_\_\_\_

Total Fees \_\_\_\_\_

**CERTIFICATION:**

I certify that the foregoing statements and the materials submitted are true. I further testify that I am the individual applicant or that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the corporation or that I am a general partner of the partnership applicant. I hereby permit authorized Borough officials to inspect my property in conjunction with this application.

Sworn and subscribed before me this date:

9/8/2021

*[Handwritten Signature]*

Signature of Applicant

*[Handwritten Signature]*

**BOBBIE LATICH**  
NOTARY PUBLIC OF NEW JERSEY  
Commission # 50120500  
My Commission Expires 6/19/2025

Notary Public

Property Owner Authorizing Application if Other than Applicant

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**REFUSAL OF PERMIT**  
**OFFICE OF THE ZONING ENFORCEMENT OFFICER**  
**OF**  
**BOROUGH OF SAYREVILLE**

Date: 07/16/2021  
Re: Application#: 33193

To:  
Muphy Lopez  
1094 Bordentown Av  
Parlin Nj 08859

Voucher/Receipt#
Check #:
Amount collected \$ 0.00

Your application for a permit to:  
Pool, Deck/ Patio/ driveway/ addition

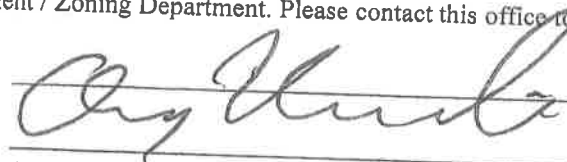
on the property at 1094 Bordentown Ave Parlin Block : 442.03 Lot : 4  
has been denied for noncompliance with provisions of Article (s): Sections :26-81.5 of the Municipal Zoning Ordinance for the following reasons:

- 1) Proposed 18' pool encroaches rear setback . 10' min and 6' proposed.
- 2) Proposed 26' x 40' deattached deck encroaches rear setback . 5' min and 3.5' proposed.
- \* 3) Proposed driveway /patio extension into rear yard encroaches rear line setback . 5' min and 2' proposed.
- 4) Proposed driveway, patio/ addition/ in total exceed overall total lot max impervious coverage for R-5 Zone. 45% lot coverage max and 56% proposed.

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from the Secretary of the Board of Adjustment. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the board of Adjustment and can obtain from the Secretary of the Board of Adjustment the required forms .

The permit which you submitted has been placed in the inactive files in the Community Development Office / Construction Code Department / Zoning Department. Please contact this office to reactivate the permit.

Denied by:

  
\_\_\_\_\_  
Andrew Mashanski

Zoning Official

CC: Secretary, Board of Adjustment  
Permit  
Letter  
Andrew Mashanski, Zoning Official

BLOCK 442.03 T.M.  
BLOCK "C" F.M.

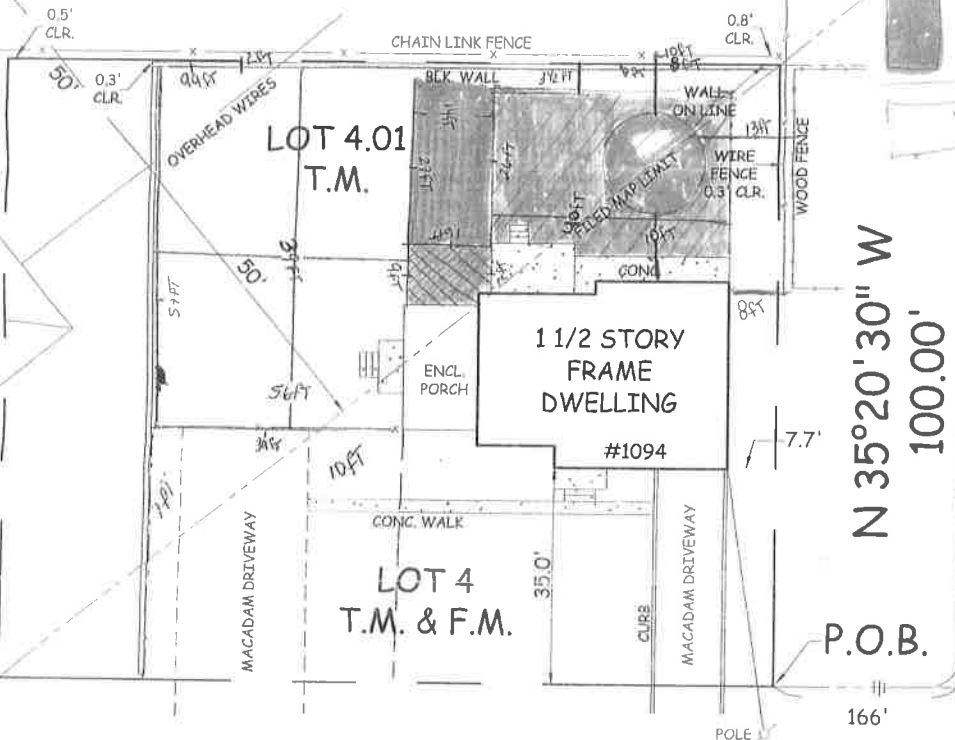
S 54°39'30" W 123.48'

100' W. J.C.P. & L. CO.  
RIGHT-OF-WAY

100.00'

S 35°20'30" E

HIGH VOLTAGE TOWER



N 35°20'30" W  
100.00'

MAIDEN LANE  
50' R.O.W.

N 54°39'30" E 123.48'

BORDENTOWN AVENUE  
A.K.A BORDENTOWN AMBOY TURNPIKE

P.O.B.

166'

P.O.B.

REFERENCES:

"MAP OF HAVEN VILLAGE - SECTION 2", MAP 1921, FILE 649, FILED 8/19/1954; DEED BOOK 6586, PAGE 712; DEED BOOK 4334, PAGE 435; BOROUGH OF SAYREVILLE TAX MAP SHEET 117.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, C.14C (C45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

	<b>BRUNSWICK WEST, INC.</b> <small>LICENSED LAND SURVEYORS          219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1763          PHONE (908) 284-0000 FAX (908) 284-2818</small>	I HEREBY CERTIFY THIS SURVEY TO: MUPHY LOPEZ; GEORGE BOYD, ESQUIRE; ACQUIRED TITLE SERVICES, LLC; CHICAGO TITLE INSURANCE COMPANY; FRANCIS P. O'BRIEN AND ANDREW PITTEL, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR.  
	<b>PLAN OF SURVEY</b> <b>MUPHY LOPEZ</b> <b>BOROUGH OF SAYREVILLE</b> <b>MIDDLESEX COUNTY, NEW JERSEY</b> <b>BLOCK 442.03, LOTS 4 AND 4.01</b>	
	<small>C.A. #246A28022700</small>	
Drawn by <b>RSZ</b> Job No. <b>15.0143</b> Date <b>2/12/2015</b>		<b>RICHARD S. ZINN</b> <b>N.J.L.S. 34888</b>
Checked by <b>HP</b> Drawing No. _____ Scale <b>1"=20'</b>		

TITLE #ACQ-008939-15

FILED MAP  
1"=20'



Pool

Fence

Deck

Asphalt

Pavers

Driveway